

LEGAL DESCRIPTION

SOUTH 100 FEET OF THE NORTH 400 FEET OF GOVERNMENT LOT 2, SECTION 30, TOWNSHIP 24 NORTH, RANGE 5 EAST, W.M. TOGETHER WITH SECOND CLASS SHORELANDS ADJOINING SAID PREMISES

SITUATE IN THE CITY OF MERCER ISLAND, COUNTY OF KING, STATE OF WASHINGTON.

BASIS OF BEARINGS

N 89°59'33" E ALONG SUBDIVISION LINE AS SHOWN HERON AND PER R1, R2, R3 & R4.

REFERENCES

- R1. RECORD OF SURVEY, VOL. 32, PG. 274, RECORDS OF KING COUNTY, WASHINGTON.
- R2. MERCER ISLAND LLR VOL. 42, PG. 150 RECORDS OF KING COUNTY, WASHINGTON.
- R3. RECORD OF SURVEY, VOL. 21, PG. 197, RECORDS OF KING COUNTY, WASHINGTON.
- R4. MERCER ISLAND SHORT PLAT, VOL. 43, PG. 107, RECORDS OF KING COUNTY, WASHINGTON.

VERTICAL DATUM

NAVD88 PER GPS OBSERVATIONS

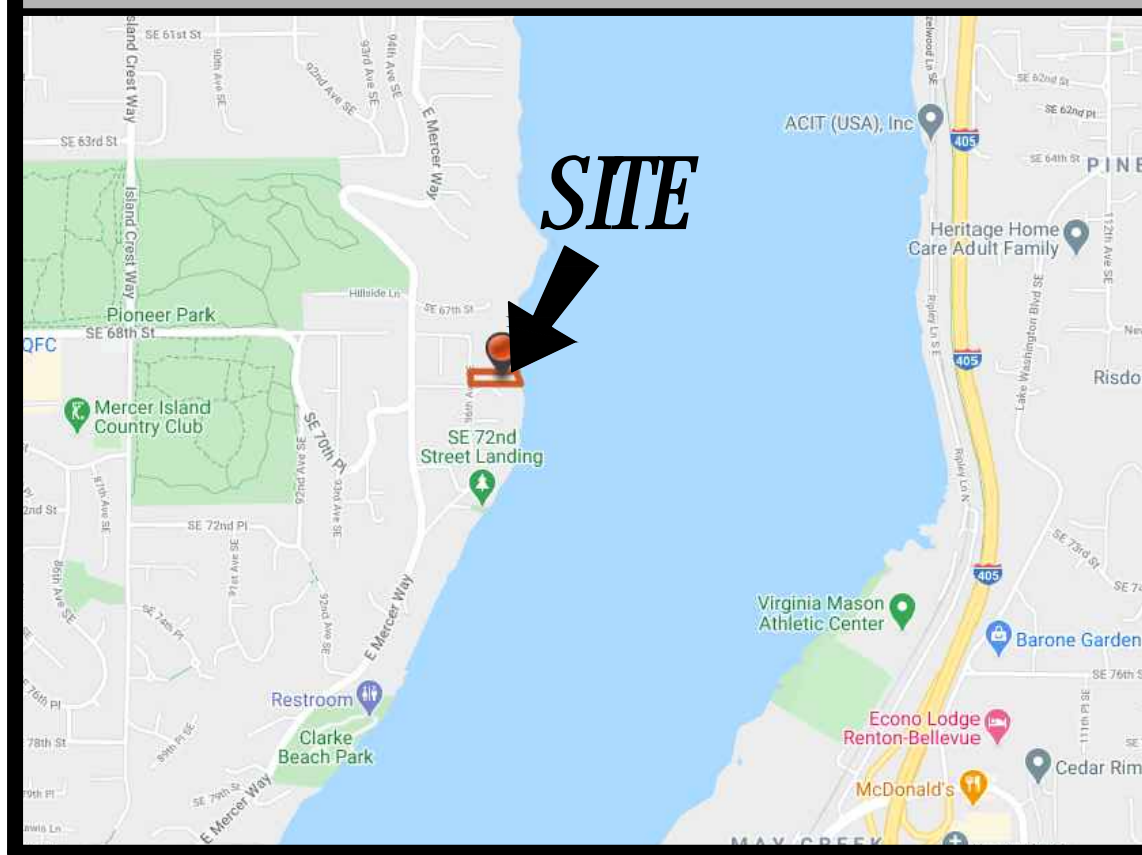
SURVEYOR'S NOTES

1. THE TOPOGRAPHIC SURVEY SHOWN HEREON WAS PERFORMED IN JANUARY & JULY OF 2021. THE FIELD DATA WAS COLLECTED AND RECORDED ON MAGNETIC MEDIA THROUGH AN ELECTRONIC THEODOLITE. THE DATA FILE IS ARCHIVED ON DISC OR CD. WRITTEN FIELD NOTES MAY NOT EXIST. CONTOURS ARE SHOWN FOR CONVENIENCE ONLY. DESIGN SHOULD RELY ON SPOT ELEVATIONS.
2. ALL MONUMENTS SHOWN HEREON WERE LOCATED DURING THE COURSE OF THIS SURVEY UNLESS OTHERWISE NOTED.
3. THE TYPES AND LOCATIONS OF ANY UTILITIES SHOWN ON THIS DRAWING ARE BASED ON INFORMATION PROVIDED TO US, BY OTHERS OR GENERAL INFORMATION READILY AVAILABLE IN THE PUBLIC DOMAIN INCLUDING, AS APPLICABLE, IDENTIFYING MARKINGS PLACED BY UTILITY LOCATE SERVICES AND OBSERVED BY TERRANE IN THE FIELD. AS SUCH, THE UTILITY INFORMATION SHOWN ON THESE DRAWINGS ARE FOR INFORMATIONAL PURPOSES ONLY AND SHOULD NOT BE RELIED ON FOR DESIGN OR CONSTRUCTION PURPOSES; TERRANE IS NOT RESPONSIBLE OR LIABLE FOR THE ACCURACY OR COMPLETENESS OF THIS UTILITY INFORMATION. FOR THE ACCURATE LOCATION AND TYPE OF UTILITIES NECESSARY FOR DESIGN AND CONSTRUCTION, PLEASE CONTACT THE SITE OWNER AND THE LOCAL UTILITY LOCATE SERVICE (800-424-5555).
4. SUBJECT PROPERTY TAX PARCEL NO. 3024059010
5. SUBJECT PROPERTY AREA PER THIS SURVEY IS 37,427 S.F. (0.86 ACRES), HOLDING THE STANDARD 18.6' CONTOUR FOR LAKE WASHINGTON, THE AREA IS 37,673 S.F. (0.86 ACRES).
6. THE PROPERTY DESCRIBED HEREON IS THE SAME AS THE PROPERTY DESCRIBED IN FIRST AMERICAN TITLE INSURANCE COMPANY, COMMITMENT NO. RC 40236167, WITH AN EFFECTIVE DATE OF DECEMBER 2, 2020 AND THAT ALL EASEMENTS, COVENANTS AND RESTRICTIONS REFERENCED IN SAID TITLE COMMITMENT OR APPARENT FROM A PHYSICAL INSPECTION OF THE PROPERTY OR OTHERWISE KNOWN TO ME HAVE BEEN PLOTTED HEREON OR OTHERWISE NOTED AS TO THEIR EFFECT ON THE PROPERTY.
7. FIELD DATA FOR THIS SURVEY WAS OBTAINED BY DIRECT FIELD MEASUREMENTS WITH A CALIBRATED ELECTRONIC 5-SECOND TOTAL STATION AND/OR SURVEY GRADE GPS OBSERVATIONS. ALL ANGULAR AND LINEAR RELATIONSHIPS ARE ACCURATE AND MEET THE STANDARDS SET BY WAC 332-130-090.

LEGEND

	AREA DRAIN		POWER POLE
	ASPHALT SURFACE		REBAR AS NOTED (FOUND)
	BRICK SURFACE		ROCKERY
	BUILDING		SEWER LINE
	CENTERLINE ROW		SEWER MANHOLE
	CLEANOUT		STORM DRAIN LINE
	CULVERT PIPE		TELEPHONE SENTRY
	CONCRETE SURFACE		TREE (AS NOTED)
	RETAINING WALL		WATER LINE
	DECK		WATER METER
	FENCE LINE (CHAIN LINK)		WATER VALVE
	FENCE LINE (WOOD)		HOSEBIB
	FIRE HYDRANT		YARD LIGHT
	GAS LINE		WETLAND AREA
	GAS METER		WETLAND FLAG
	GRAVEL SURFACE		TREE TAG REFERENCE
	CATCH BASIN (TYPE 1)		GEOTECH EXPLORATIONS (APPROXIMATE)
	HUB/TACK		
	WALL AS NOTED		
	MONUMENT IN CASE (FOUND)		
	MONUMENT (SURFACE, FOUND)		
	POWER HAND HOLE		
	POWER METER		
	POWER (OVERHEAD)		

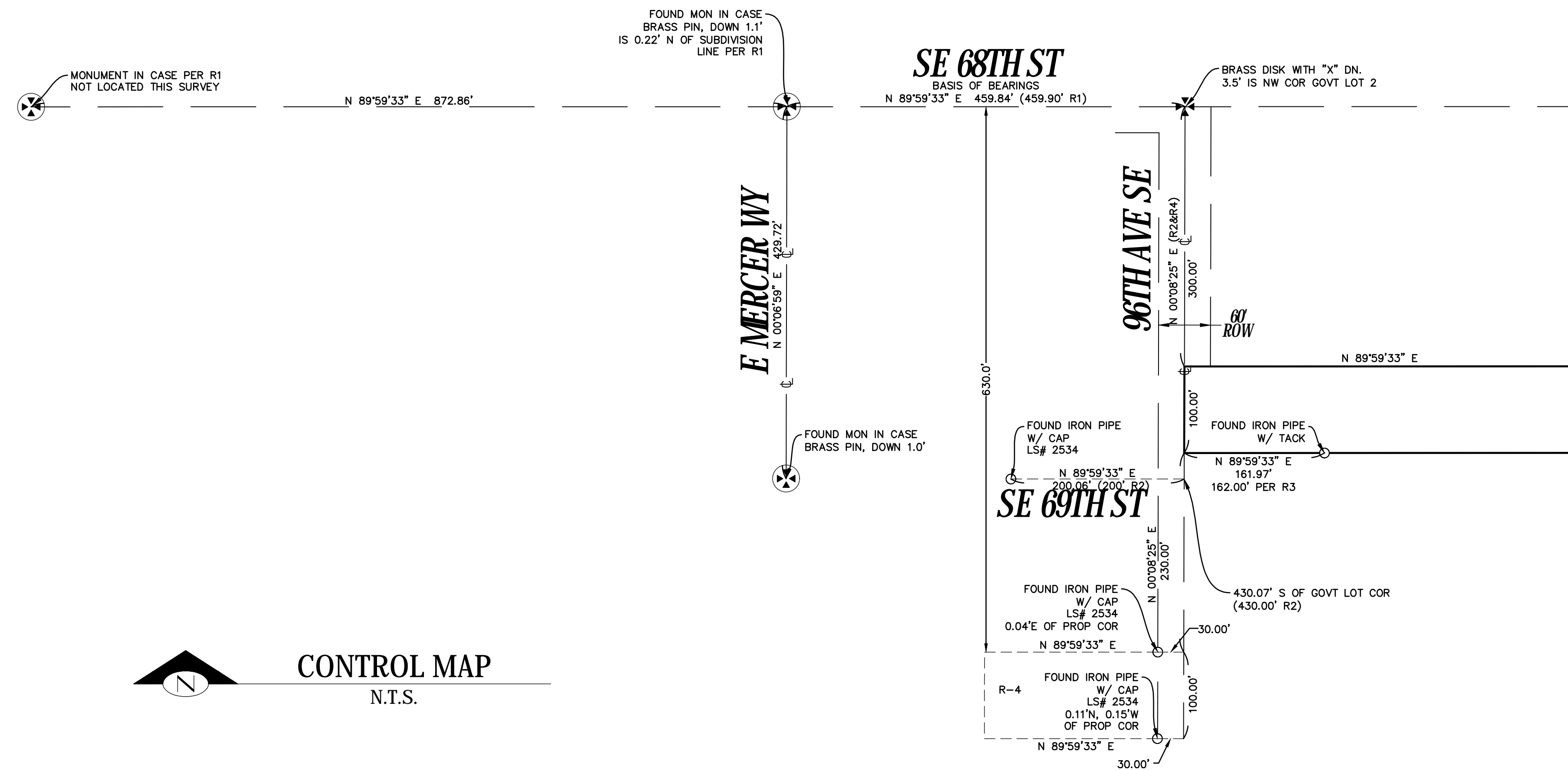
VICINITY MAP N.T.S.



TOPOGRAPHIC & BOUNDARY SURVEY

SCHEDULE B ITEMS

3. NOTICE OF TAP OR CONNECTION CHARGES WHICH HAVE BEEN OR WILL BE DUE IN CONNECTION WITH DEVELOPMENT OR RE-DEVELOPMENT OF THE LAND AS DISCLOSED BY RECORDED INSTRUMENT. INQUIRIES REGARDING THE SPECIFIC AMOUNT OF THE CHARGES SHOULD BE MADE TO THE CITY/COUNTY/AGENCY. CITY/COUNTY/AGENCY: CITY OF MERCER ISLAND RECORDED: DECEMBER 06, 1977 RECORDING NO.: 7712060812 (NOT PLOTTED-BLANKET IN NATURE)
4. EASEMENT AND THE TERMS AND CONDITIONS THEREOF: GRANTEE: PUGET SOUND POWER AND LIGHT COMPANY PURPOSE: ELECTRIC TRANSMISSION AND DISTRIBUTION LINE AREA AFFECTED: WESTERLY PORTION OF SAID PREMISES RECORDING NO.: 2616148 (PLOTTED)
5. EASEMENT AND THE TERMS AND CONDITIONS THEREOF: GRANTEE: MERCER ISLAND SEWER DISTRICT PURPOSE: SEWER LINE AREA AFFECTED: A PORTION OF SAID PREMISES RECORDING NO.: 5750932 (EASEMENT OVER LINE AS CONSTRUCTED ACROSS 2ND CLASS SHORELANDS.-NOT PLOTTED-BLANKET IN NATURE)



STEEP SLOPE/BUFFER DISCLAIMER:

THE LOCATION AND EXTENT OF STEEP SLOPES SHOWN ON THIS DRAWING ARE FOR INFORMATIONAL PURPOSES ONLY AND CANNOT BE RELIED ON FOR DESIGN AND/OR CONSTRUCTION. THE FITCH, LOCATION, AND EXTENT ARE BASED SOLELY ON OUR GENERAL OBSERVATIONS ON SITE AND OUR CURSORY REVIEW OF READILY AVAILABLE PUBLIC DOCUMENTS; AS SUCH, TERRANE CANNOT BE LIABLE OR RESPONSIBLE FOR THE ACCURACY OR COMPLETENESS OF ANY STEEP SLOPE INFORMATION. ULTIMATELY, THE LIMITS AND EXTENT OF ANY STEEP SLOPES ASSOCIATED WITH ANY SETBACKS OR OTHER DESIGN OR CONSTRUCTION PARAMETERS MUST BE DISCUSSED AND APPROVED BY THE REVIEWING AGENCY BEFORE ANY CONSTRUCTION CAN OCCUR.

INDEXING INFORMATION

NW ¹	NE ¹	SW ²	SE ²
SECTION: 30		TOWNSHIP: 24N	
RANGE: 06E, W.M		COUNTY: KING	

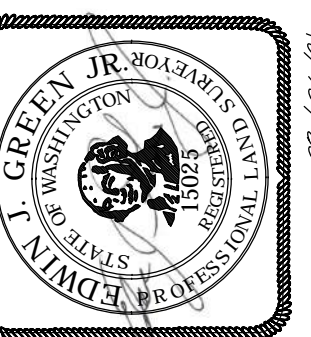
measure success

TOPOGRAPHIC & BOUNDARY SURVEY

PARCEL NO. 3024059010

BUTTENWIESER / WILEY RESIDENCE

6838 96TH AVE SE
MERCER ISLAND, WA 98040



Terrane
 10801 Main Street, Suite 102, Bellevue, WA 98004
 phone 425.458.4488 support@terrane.net
 www.terrane.net

JOB NUMBER:	202552
DATE:	02/04/21
DRAFTED BY:	TCC
CHECKED BY:	EJC/TMM
SCALE:	1" = 10'

REVISION HISTORY	
7/19/21	ADDL TOPO
8/6/21	PER COMMENTS

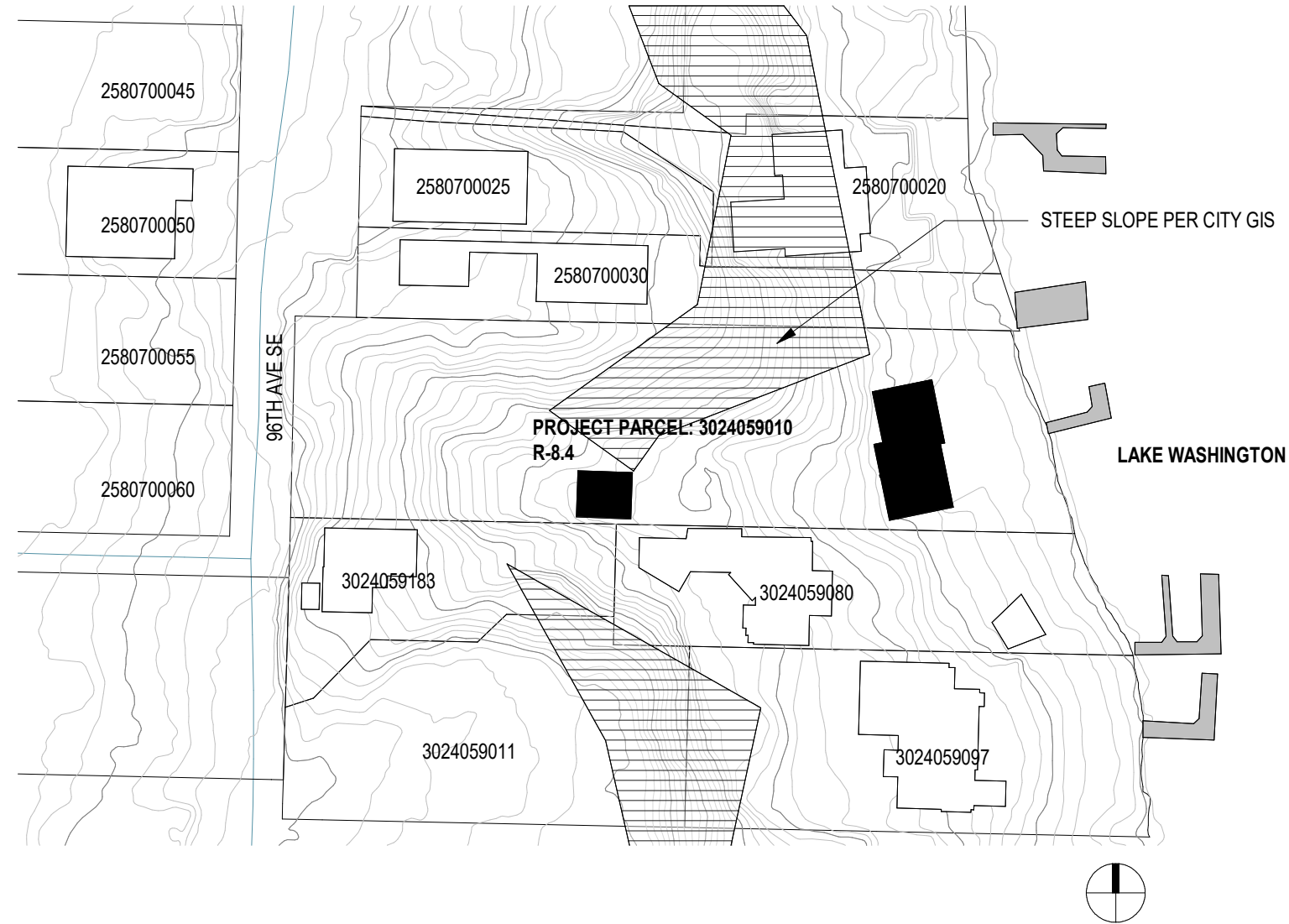


MERCER ISLAND HOUSE: CASCADE

LAND USE SUBMITTAL

MERCER ISLAND, WA
NOVEMBER 24, 2021

VICINITY MAP - ADJACENT PARCELS



PROJECT INFORMATION	
TAX PARCEL NUMBER	3024059010
JURISDICTION	CITY OF MERCER ISLAND
PERMIT NUMBER	TO BE ASSIGNED
LEGAL DESCRIPTION	SOUTH 100 FEET OF THE NORTH 400 FEET OF GOVERNMENT LOT 2, SECTION 30, TOWNSHIP 24 NORTH, RANGE 5 EAST, W.M. TOGETHER WITH SECOND CLASS SHORELANDS ADJOINING SAID PREMISES
YEAR BUILT:	1934
YEAR RENOVATED:	1970
APPLICABLE CODES:	2018 INTERNATIONAL BUILDING CODE (IBC) 2018 INTERNATIONAL RESIDENTIAL CODE (IRC) 2018 INTERNATIONAL MECHANICAL CODE (IMC) 2018 INTERNATIONAL FUEL GAS CODE (IFGC) 2018 UNIFORM PLUMBING CODE (UPC) 2018 INTERNATIONAL FIRE CODE (IFC) 2018 INTERNATIONAL EXISTING BUILDING CODE 2018 INTERNATIONAL SWIMMING POOL AND SPA CODE 2018 WASHINGTON STATE ENERGY CODE (WCEC) ICC/ANSI A117.1-09, ACCESSIBLE AND USABLE BUILDINGS AND FACILITIES, WITH STATEWIDE AND CITY AMENDMENTS
ZONE:	R-8.4 SINGLE FAMILY
LOT SIZE:	37427 SQUARE FEET PER SURVEY DATED 8/6/21
CRITICAL AREAS:	STEEP SLOPE PER SURVEY, LANDSCAPE HAZARDS, SEISMIC HAZARDS AND EROSION HAZARDS PER GEOTECH. WETLAND DELINEATION PER ECOLOGIST
ACCESS:	PRIVATE DRIVEWAY FROM 96TH AVE SE
EASEMENTS:	UTILITY EASEMENT: PUGET SOUND POWER AND LIGHT COMPANY, ELECTRIC TRANSMISSION AND DISTRIBUTION LINE, 11' FROM WEST PROPERTY LINE UTILITY EASEMENT: MERCER ISLAND SEWER DISTRICT, IN LAKE WASHINGTON
ADDITIONAL INFORMATION	ADDITIONAL CODE ANALYSIS AND PROJECT INFORMATION ON G101

PROJECT DESCRIPTION

THE PROJECT SITE IS A WATERFRONT SITE ON THE SOUTHEAST SIDE OF MERCER ISLAND. THE SLOPED SITE RUNS PRIMARILY WEST-EAST, ACCESSED VIA 96TH AVENUE SE AND DESCENDS TO THE LAKE WASHINGTON SHORELINE. THREE STRUCTURES CURRENTLY OCCUPY THE SITE: A PRIMARY TWO-STORY RESIDENCE, A TWO-CAR GARAGE AND A SMALL POTTING SHED. THE HOUSE, GARAGE AND SHED ARE IN POOR STATE OF REPAIR AND WILL BE DEMOLISHED FOR THE CONSTRUCTION OF THE NEW RESIDENCE.

THERE ARE SEVERAL SENSITIVE AND ENVIRONMENTALLY CRITICAL AREAS ON THE SITE. THE ENTIRE PROPERTY IS CHARACTERIZED BY RELATIVE STEEPNESS AS THERE IS A FREQUENT CHANGE IN GRADE ACROSS THE FULL SPAN OF THE PARCEL. CITY OF MERCER ISLAND CRITICAL AREAS MAPPING INDICATES THAT THE CENTRAL REGION OF THE SITE IS A DESIGNATED STEEP SLOPE AREA AND NEARLY THE ENTIRE PROPERTY IS LOCATED IN A PROTECTED STEEP SLOPE AREA. IN ADDITION, THE WHOLE SITE IS MAPPED AS A LANDSLIDE HAZARD AREA. OTHER ENVIRONMENTAL HAZARDS IDENTIFIED OVER THE ENTIRE SITE INCLUDE POTENTIAL SLIDE AND EROSION HAZARD AREAS. THE EASTERN REGION OF THE PROPERTY IS LOCATED WITHIN A DESIGNATED SEISMIC HAZARD AREA.

THE NEW RESIDENCE WILL BE A THREE-STORY STRUCTURE AND NEW DETACHED GARAGE. A MAJORITY OF THE PROPOSED FOOTPRINT IS LOCATED WITHIN THE EXISTING BUILDING PAD. THE FIRST TWO STORIES ARE LOCATED NEAR THE WATER, WITH THE THIRD STORY EXTENDING WEST TOWARD THE EXISTING PARKING PAD. THE THIRD STORY CONNECTS TO THE PARKING PAD WITH AN ELEVATED COVERED WALKWAY WHICH WILL ALLOW THE NEW RESIDENTS TO AGE-IN-PLACE AT THIS HOME.

A CENTRAL EXTERIOR STAIRWAY WILL CONNECT THE UPPER PARKING PAD TO THE WATERFRONT. LANDSCAPING FEATURES WILL BE INCLUDED THROUGHOUT.

PROJECT TEAM

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TEL: 206.728.2358
CONTACT: JEFF SPEERT

SHEET INDEX

NO.	SHEET NAME
SURVEY	
SURVEY	SURVEY
GENERAL	
G000	SHEET INDEX & PROJ INFO
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G101	SITE PLAN
G200	CODE DIAGRAMS
G201	CODE DIAGRAMS
CIVIL	
C100	TESC AND DEMOLITION PLAN
C101	TREE RETENTION PLAN
C102	TESC DETAILS
C200	GRADING AND DRAINAGE PLAN
C300	UTILITIES & PAVING PLAN
C400	DETAILS
C401	DETAILS
C402	DETAILS

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Seattle, WA 98104
Phone: 206.682.6837
Contact: Name

STAMP



MERCER ISLAND HOUSE: CASCADE

6838 96TH AVE SE
MERCER ISLAND, WA 98040

SUBMITTAL

LAND USE SUBMITTAL

NOVEMBER 24, 2021

REVISIONS

No.	Description	Date

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SHEET

SHEET INDEX & PROJ INFO G000

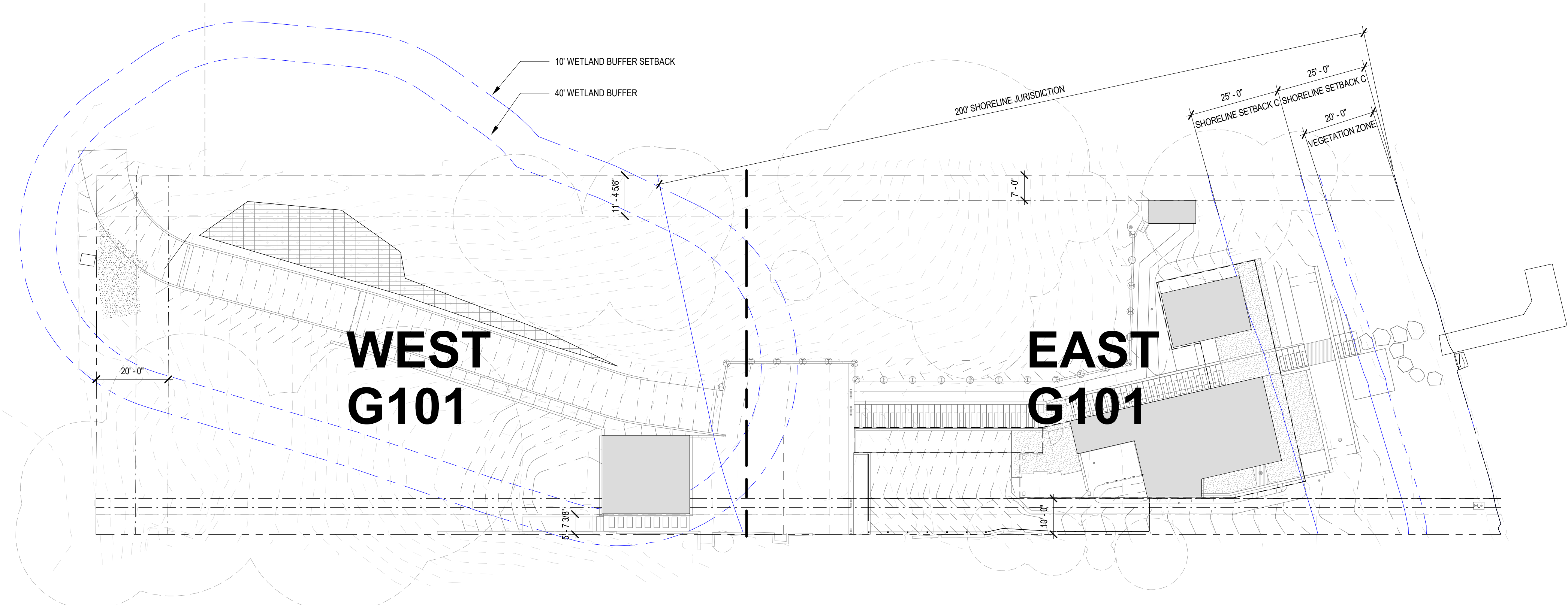
FIRE PROTECTION		
FIRE AREA SQUARE FOOTAGE CALCULATION	LEVEL 1	1046 SF
	LEVEL 2	1845 SF
	LEVEL 3	1135 SF
	COVERED PATIO	689 SF 4715
FIRE ACCESS	EXISTING DRIVEWAY DOES NOT MEET FIRE ACCESS REQUIREMENT. CODE ALTERNATES WILL NEED TO BE PURSUED.	
FIRE FLOW (HYDRANTS) IFC APPENDIX B	HYDRANT FLOW REQUIRED FOR 4801 - 6,200 SF REQUIRES 2000 GPM WITH 50% CREDIT DUE TO A FIRE SPRINKLER SYSTEM. NEAREST HYDRANT: HS-36 1025 GMP AT 72 PSI DISTANCE FROM HYDRANT TO REAR OF HOUSE: 497' DISTANCE FROM HYDRANT TO ACCESS: 87'/DRIVEWAY, 302 TO GARAGE	
SPRINKLERS	ALL NEW CONSTRUCTION IS REQUIRED TO INSTALL A MINIMUM OF A NFPA 13D FIRE SPRINKLER SYSTEM PROPOSED: NFPA 13R	
FIRE ALARM SYSTEMS R314.3	HOUSEHOLD FIRE ALARM SYSTEM TO BE INSTALLED PER NFPA 72 CHAPTER 29. SMOKE ALARMS SHALL BE INSTALLED AS FOLLOWS: IN ALL SLEEPING ROOMS OUTSIDE OF EACH SLEEPING AREA ON EVERY LEVEL OF A DWELLING UNIT CARBON MONOXIDE ALARMS ARE NOT PROVIDED. NO FUEL-FIRED APPLIANCES OR ATTACHED GARAGE	
FIRE ALTERNATES	ALL GYPSUM BOARD WILL BE 1-HOUR RATED. ALL SOLID WOOD DOORS WILL BE SOLID CORE. FDC CONNECTION WILL BE PROVIDED AT GARAGE AND LAKESIDE AS REQUIRED BY FIRE MARSHAL	

ZONING CODE ANALYSIS				
SECTION	EXISTING / REQUIRED	PROPOSED	COMPLIES	SHEET
ZONING	R-8.4 - SINGLE-FAMILY	R-8.4	YES	G000
CONSTRUCTION TYPE	RESIDENTIAL - TYPE VA	TYPE VA	YES	G100
LOT SIZE	37,427 SF WITH 22% LOT SLOPE			SURVEY
YARD REQUIREMENTS	FRONT YARD SETBACK: 20' COMBINED SIDE YARD SETBACK: 17' MIN. SIDE YARD SETBACK: 5.61' VARIABLE SIDE YARD SETBACKS: 7'-6" IF HEIGHT GREATER THAN 15' 10'-0" IF HEIGHT GREATER THAN 25' REAR YARD SETBACK: PER SHORELINE		YES YES YES YES YES	G101
GROSS FLOOR AREA	MAX GFA: 5,000 SF ALLOWED 4,409 SF EXISTING	4,564 SF (12% OF LOT AREA)	YES	G201
BUILDING HEIGHT LIMIT	30' MAXIMUM HEIGHT ABOVE AVERAGE BUILDING ELEVATION TO THE HIGHEST POINT OF THE ROOF	ABE: 30' - 4" ABE + 30': 60' - 4" TOP OF BUILDING: 59'-7"	YES	G200
LOT COVERAGE	13,100 SF ALLOWED (35% OF LOT AREA) 7,185 SF EXISTING (19%)	8,386 SF (22%)	YES	G200
MAX HARDSCAPE	8082 SF ALLOWED (9% + 13% UNUSED LOT COVERAGE) 2940 SF EXISTING (8%)	3,553 SF (9%)	YES	G200
LANDSCAPING	24,327 SF (65%) REQUIRED LANDSCAPING AREA 26,974 SF EXISTING (72%)	25,500 SF (68%)	YES	G200
PARKING	3 PARKING SPACES REQUIRED, AT LEAST 2 SHALL BE COVERED	4 PARKING SPACES: 2 ARE COVERED	YES	G101

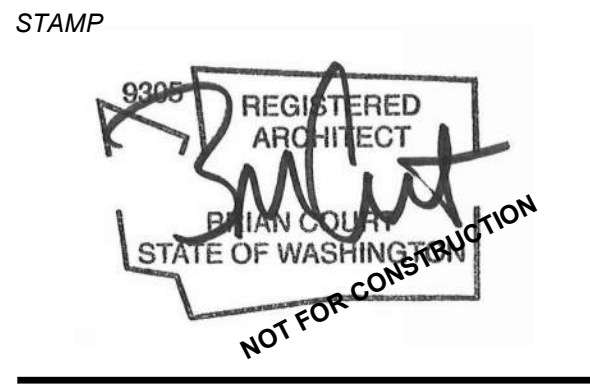
- ### GENERAL SITE PLAN NOTES
- REFER TO CRITICAL AREA STUDY, GEOTECHNICAL REPORT AND ARBORIST REPORT FOR WORK WITHIN ASSOCIATED ENVIRONMENTALLY CRITICAL AREAS.
 - REFER TO CIVIL DRAWINGS FOR TESC, TREE, UTILITIES AND GRADING PLANS.
 - REFER TO LANDSCAPE DRAWINGS FOR PROPOSED TREES AND SHRUBS.

SITE PLAN LEGEND

- EXISTING BUILDING TO BE REMOVED
- PROPOSED BUILDING FOOTPRINT
- PROPOSED BUILDING OVERHANG
- PROPOSED CONCRETE DRIVEWAY OR PATHWAY
- WETLAND DELINEATION, REFERENCE CRITICAL AREAS STUDY
- EXISTING TREES, REFERENCE ARBORIST REPORT AND CIVIL TREE PLAN
- DRIPLINE
- RLOD (RECOMMENDED LIMITS OF DISTURBANCE)
- EXISTING CONTOUR, SHOWN AT 2' INTERVALS, REFERENCE CIVIL DRAWINGS
- PROPOSED CONTOUR, SHOWN AT 1' INTERVALS, REFERENCE CIVIL DRAWINGS



1 COMPOSITE SITE PLAN
G100 1" = 20'-0"



MERCER ISLAND HOUSE: CASCADE

6838 96TH AVE SE
MERCER ISLAND, WA 98040
SUBMITTAL

LAND USE SUBMITTAL

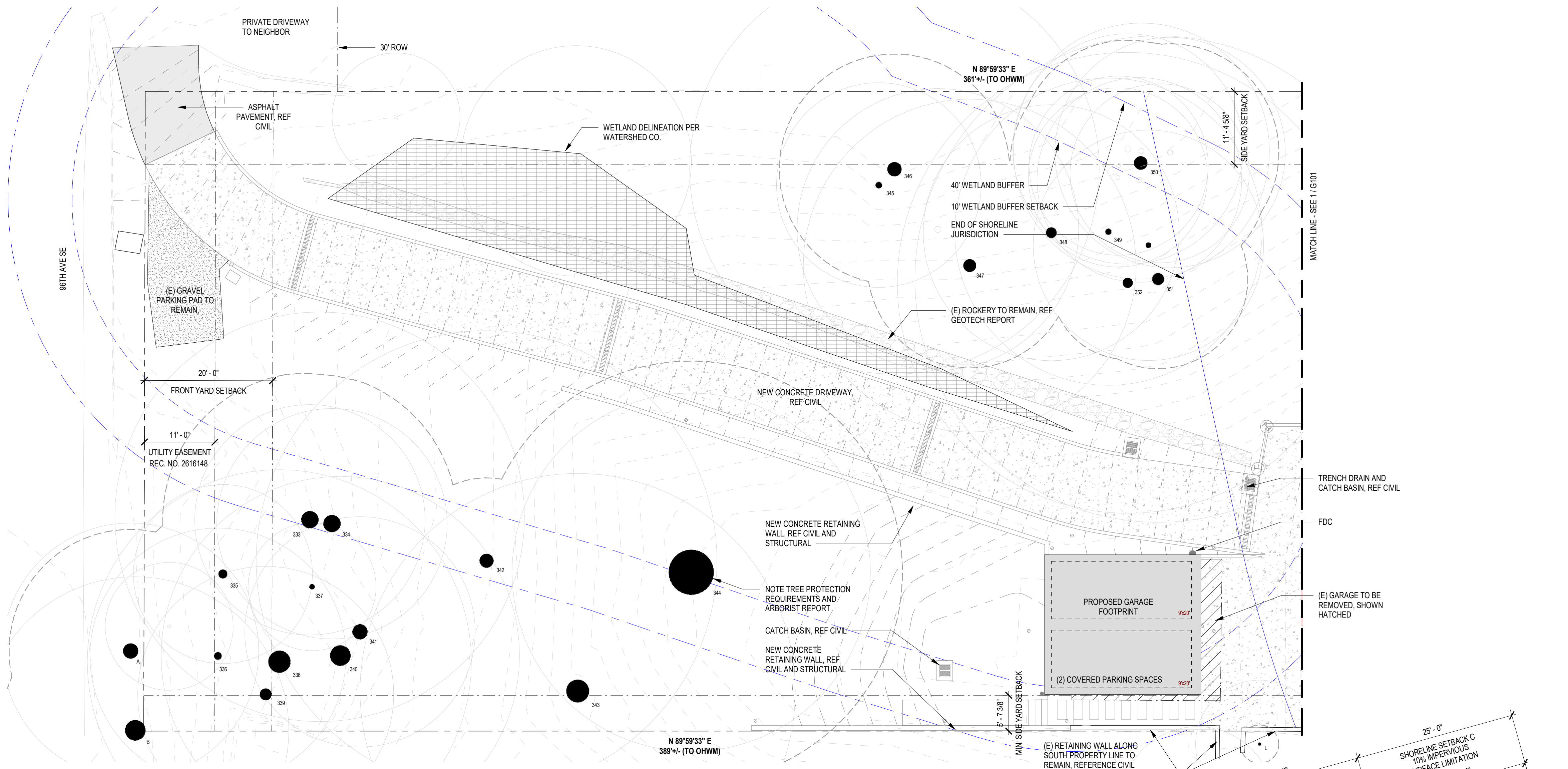
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SHEET

SITE PLAN G100

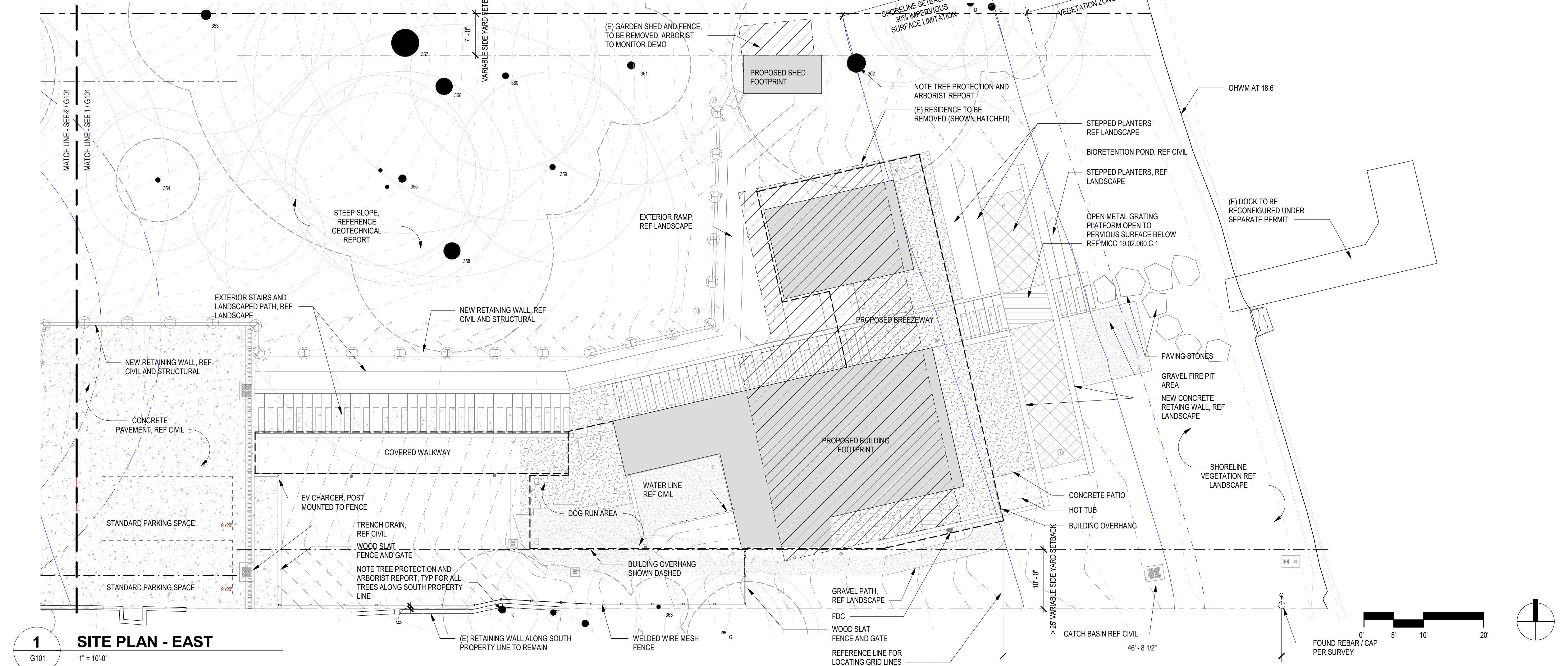


GENERAL SITE PLAN NOTES

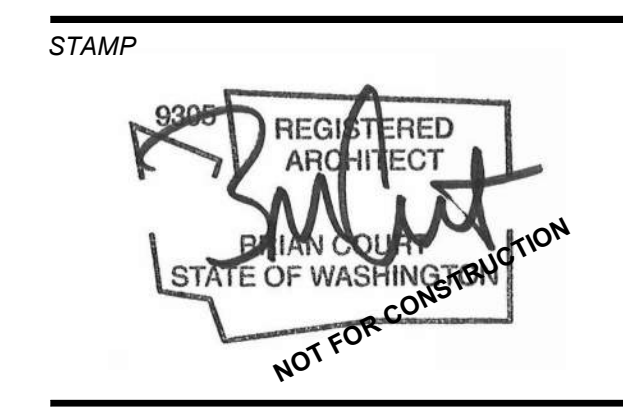
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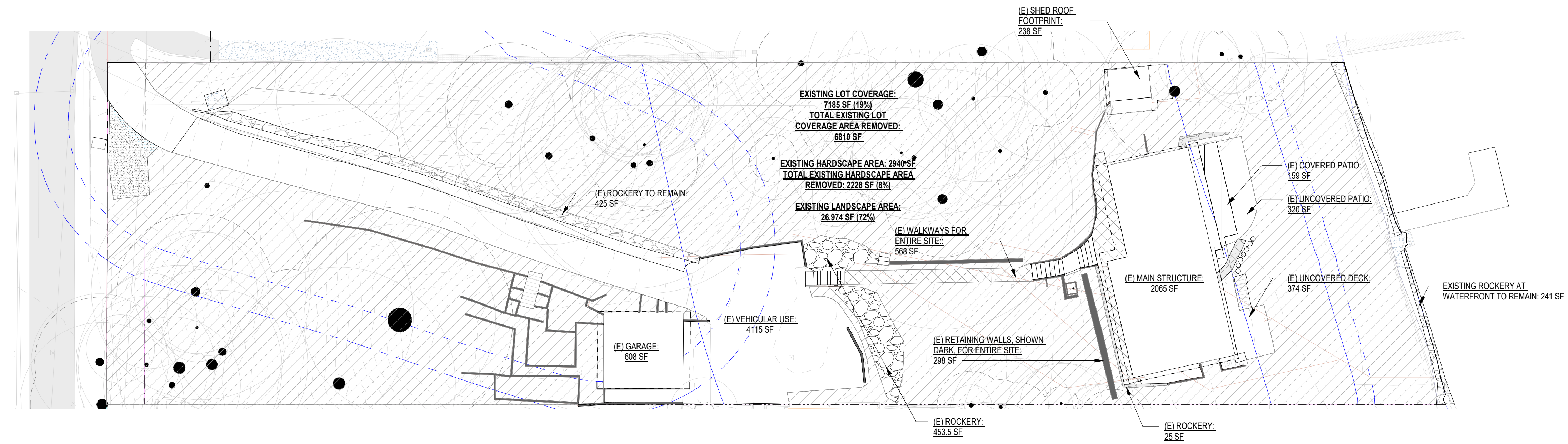
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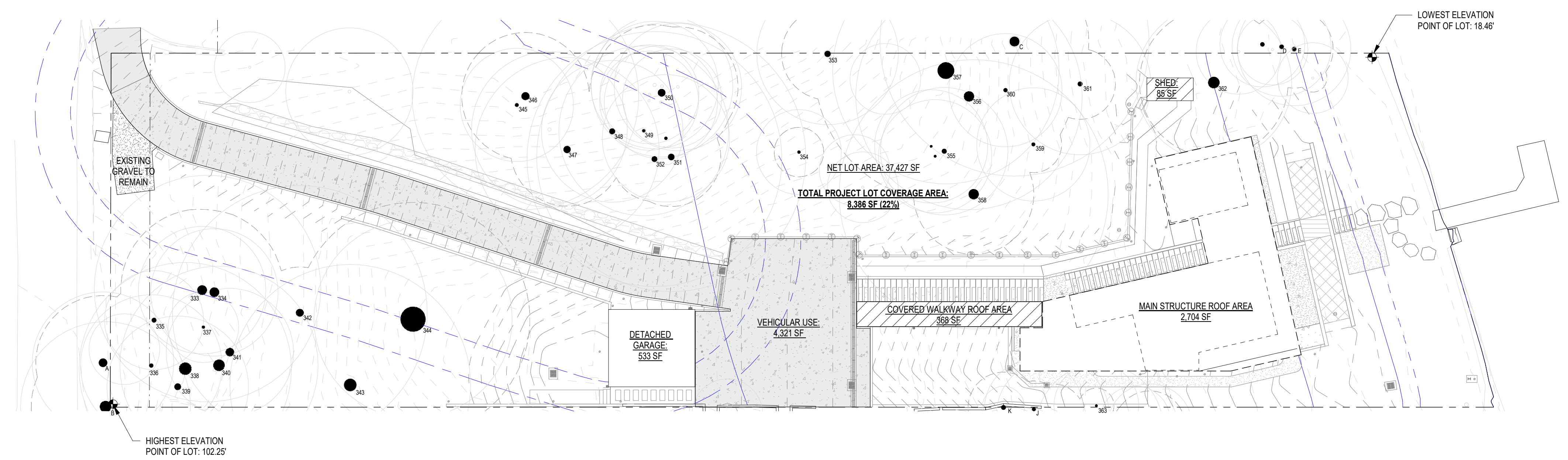
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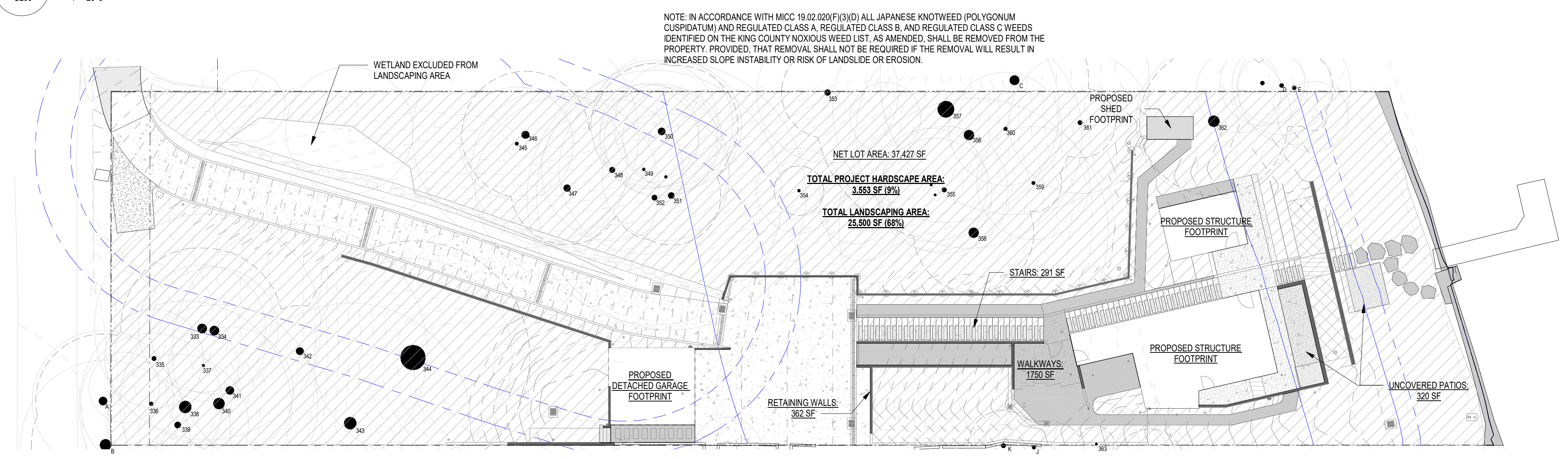
SITE PLAN G101



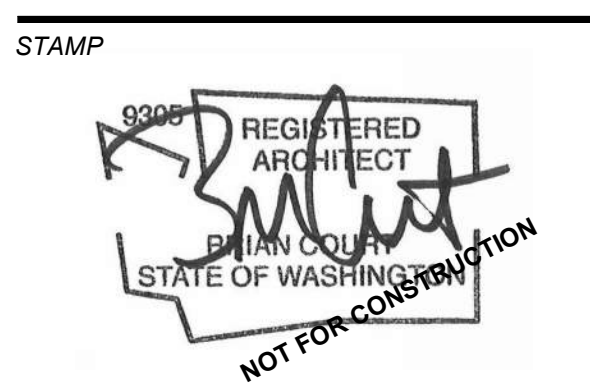
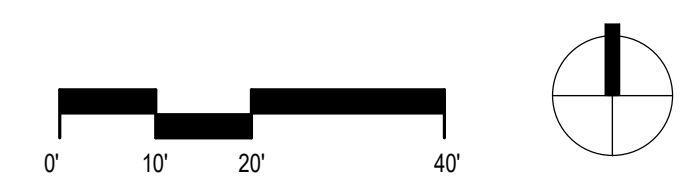
3 SITE PLAN DIAGRAM - EXISTING SITE
 G200 1" = 20'-0"



2 SITE PLAN DIAGRAM - LOT COVERAGE CALCULATIONS
 G200 1" = 20'-0"



1 SITE PLAN DIAGRAM - LANDSCAPE / HARDSCAPE CALCULATIONS
 G200 1" = 20'-0"



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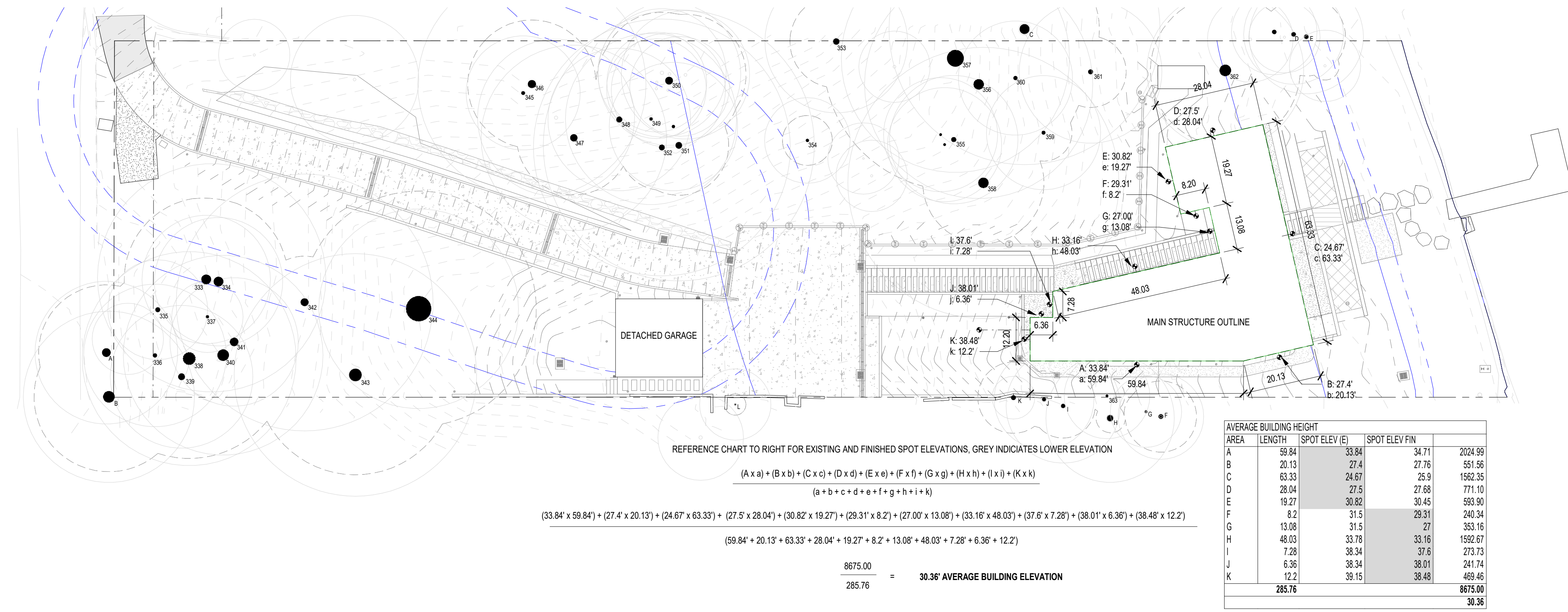
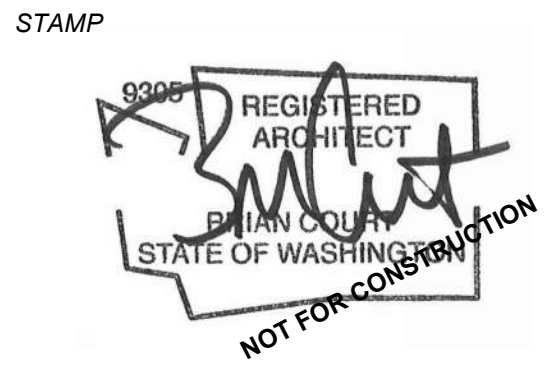
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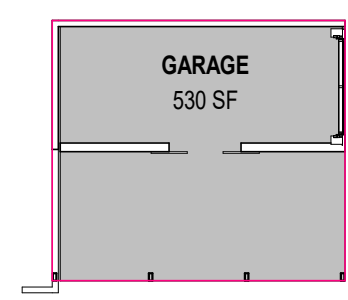
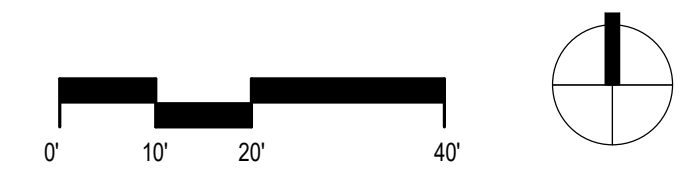
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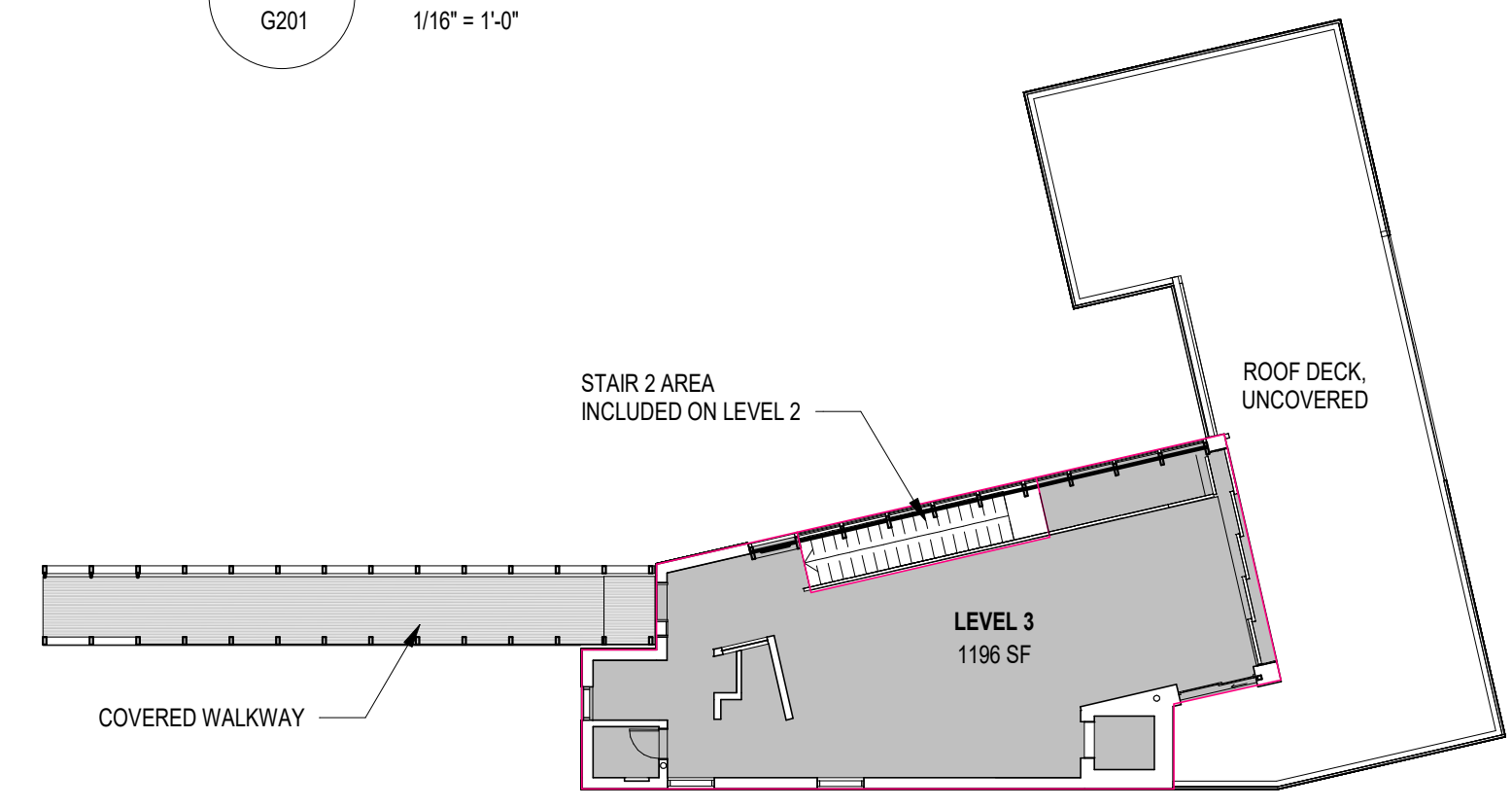
SHEET



1 SITE PLAN DIAGRAM - AVERAGE BUILDING HEIGHT CALCULATIONS
 G201 1" = 20'-0"



4 GARAGE AREA PLAN
 G201 1/16" = 1'-0"



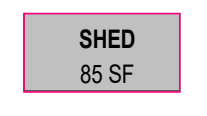
5 LEVEL 3 AREA PLAN
 G201 1/16" = 1'-0"



6 LEVEL 2 AREA PLAN
 G201 1/16" = 1'-0"

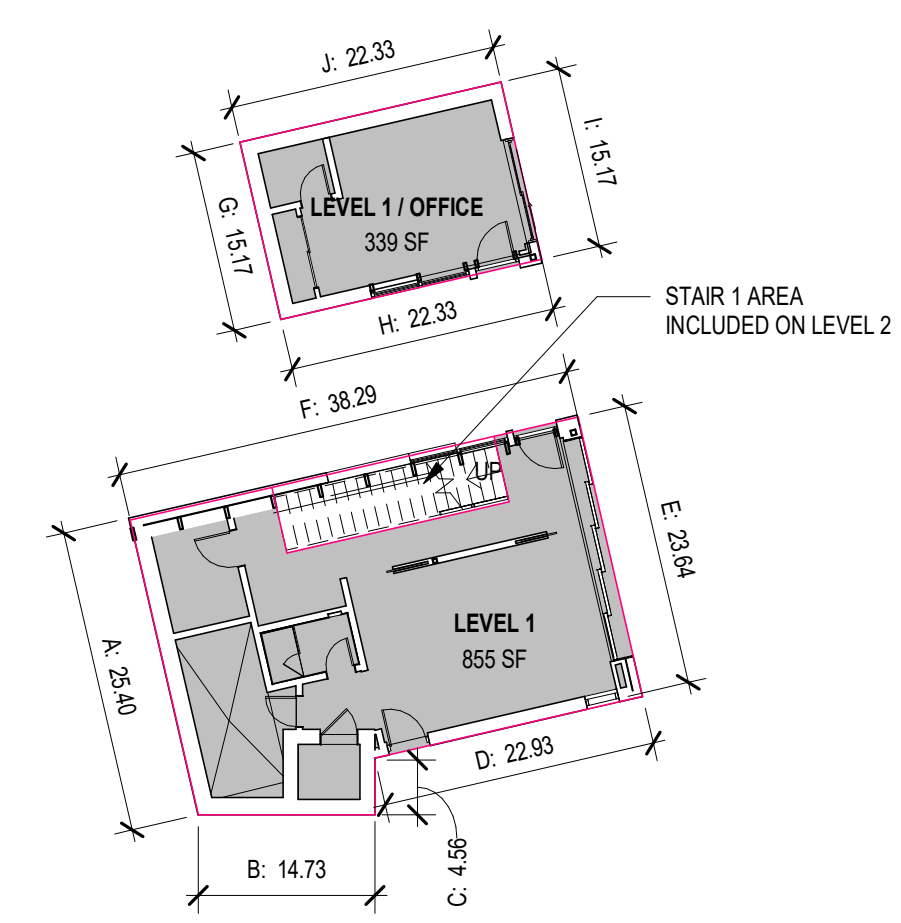
AREA SCHEDULE (GSF)	
Name	Area
LEVEL 1 / OFFICE	339 SF
LEVEL 1	855 SF
SHED	85 SF
LEVEL 2	2073 SF
LEVEL 3	1196 SF
GARAGE	530 SF
5077 SF - 513 SF = 4564 SF	

AREA PLAN NOTES:
 - GROSS SQUARE FOOTAGE INCLUDES FLOOR AREA BOUNDED BY THE EXTERIOR FACES OF THE BUILDING

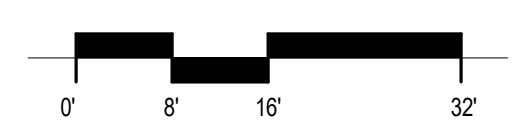


BASEMENT FLOOR AREA EXCLUSION:
 43% OR 513 SF EXCLUDED, REF CHART BELOW AND ELEVATIONS
 LEVEL 1 (BASEMENT) GFA: 1194 SF - 513 SF = 681 GFA

WALL	LENGTH x	COVERAGE	RESULT	
A	25.36	72%	18%	
B	14.73	35%	5%	
C	4.56	0%	0%	
D	22.93	0%	0%	
E	23.64	0%	0%	
F	38.29	18%	7%	
G	15.17	43%	7%	
H	22.33	10%	2%	
I	15.17	0%	0%	
J	22.33	17%	4%	
TOTALS	204.51	NA	43%	



7 LEVEL 1 AREA PLAN
 G201 1/16" = 1'-0"



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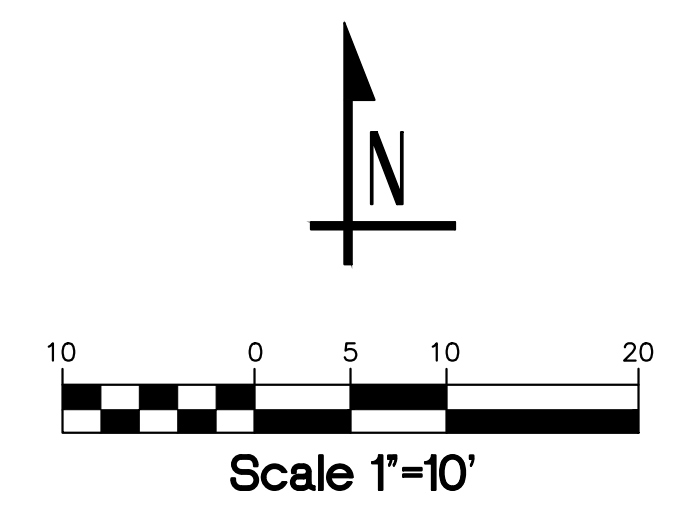
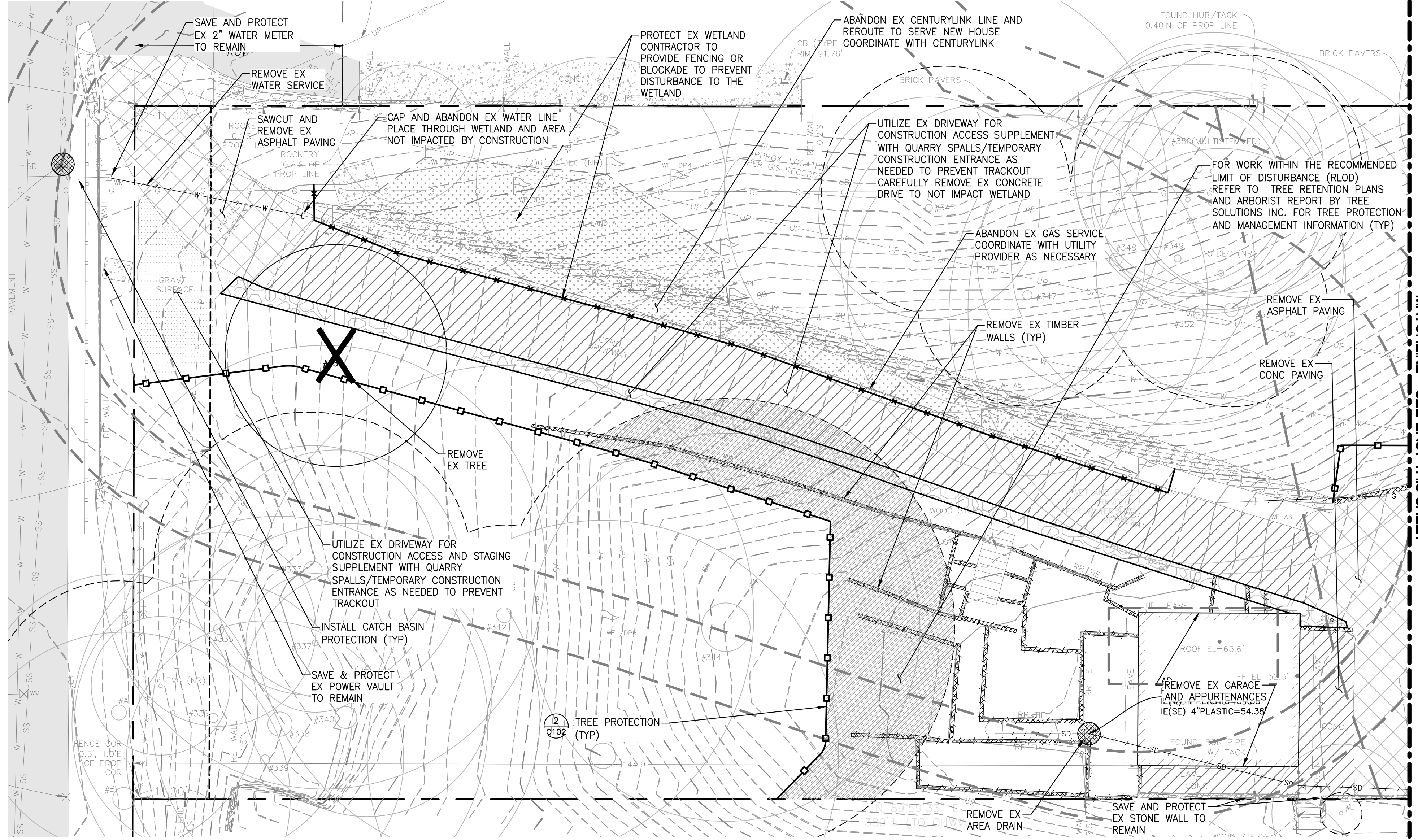
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SHEET

CODE DIAGRAMS G201

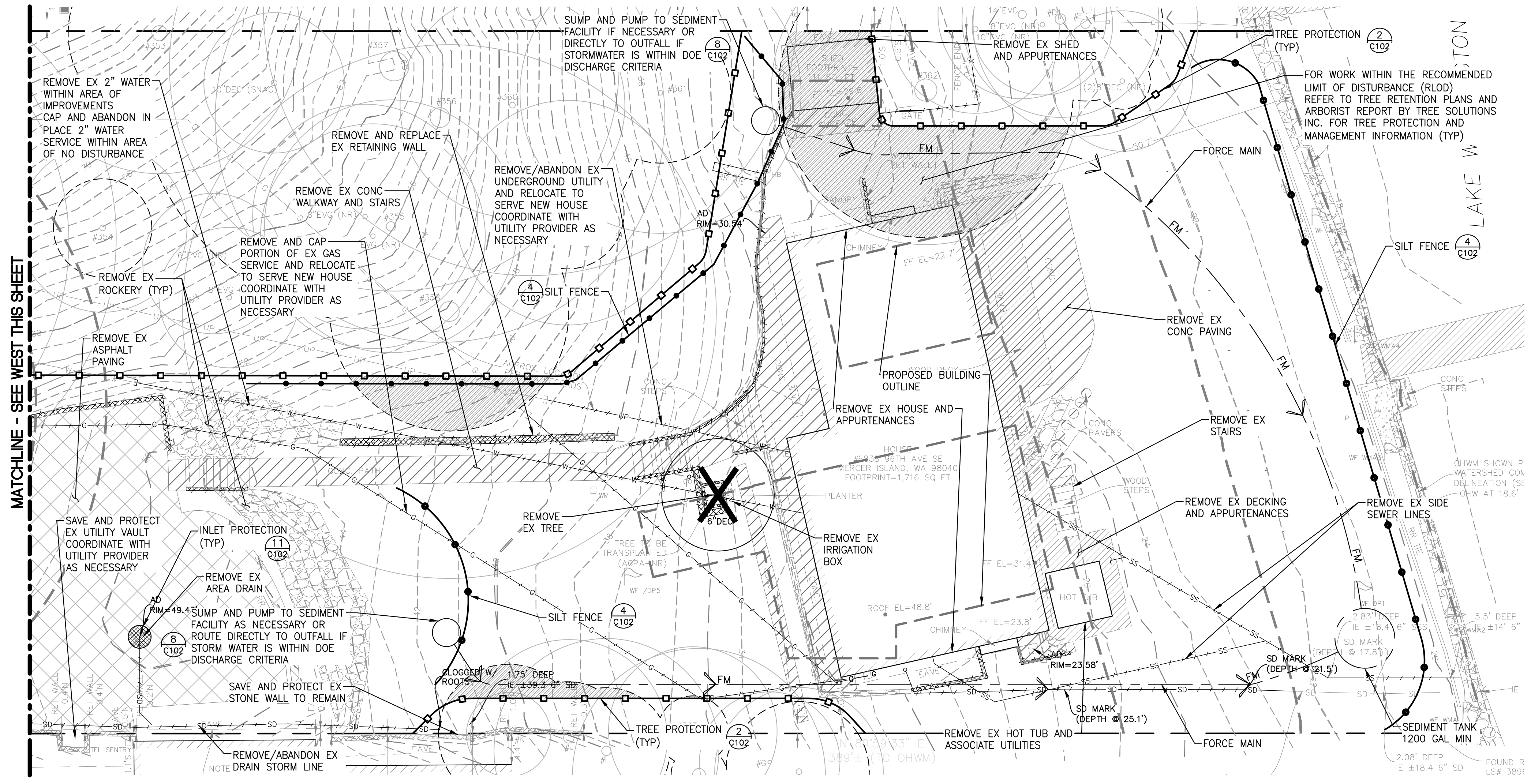


LEGEND

	PROPERTY LINE
	EX CONTOUR (INDEX)
	EX CONTOUR
	EX BUILDING
	SAWCUT LINE
	ASPHALT REMOVAL
	CONCRETE REMOVAL
	STABILIZED CONSTRUCTION ENTRANCE
	SILT FENCE
	WETLAND PROTECTION
	WORK WITHIN THE RLOD SEE TREE RETENTION PLAN
	EX TREE TO REMAIN
	EX TREE TO BE REMOVED
	TREE PROTECTION
	CATCH BASIN INSERT PROTECTION
	WETLAND BUFFER DELINEATION

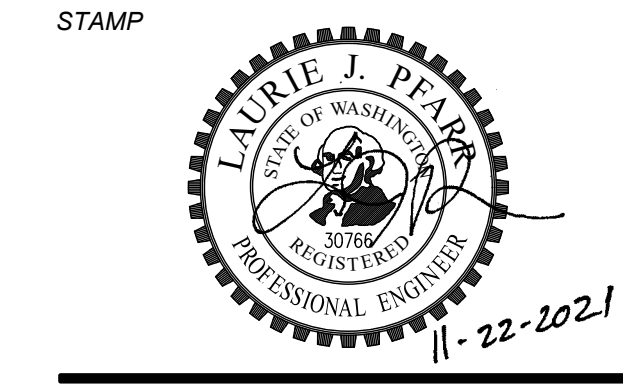
- TESC NOTES**
- CONTRACTOR TO VIDEO INVESTIGATE EX SD DRAIN AND EX SS LINE TO VERIFY CONDITION, LOCATION AND INVERT ELEVATION. CONTRACTOR TO PROVIDE VIDEO TO ENGINEER FOR REVIEW OF EXISTING CONDITION PRIOR TO CONSTRUCTION.
 - PROVIDE SEDIMENT TANK AS NECESSARY FOR STORMWATER SEDIMENT CONTROL PRIOR TO DISCHARGE FROM THE SITE.
 - CONTRACTOR TO PROVIDE CONSTRUCTION FENCING AS NECESSARY TO SECURE MATERIALS, EQUIPMENT AND ALL AREAS BEING DISTURBED.

- ADDITIONAL NOTES**
- REFER TO ARCHITECT PLANS FOR LOT COVERAGE AND HARDSCAPE CALCULATIONS AT SHORELINE SETBACKS
 - REFER TO ARCHITECT PLANS FOR LOT COVERAGE AND HARDSCAPE CALCULATIONS AT THE SITE PROPERTY
 - REFER TO TREE RETENTION PLANS AND ARBORIST REPORT BY TREE SOLUTIONS INC. FOR TREE PROTECTION AND MANAGEMENT INFORMATION.
 - EXISTING WETLAND SHALL NOT BE DISTURBED FOR ANY REASON. REFER TO WETLAND AND SHORELINE MITIGATION PLAN FOR LIMITS OF PROJECT IMPACTS.



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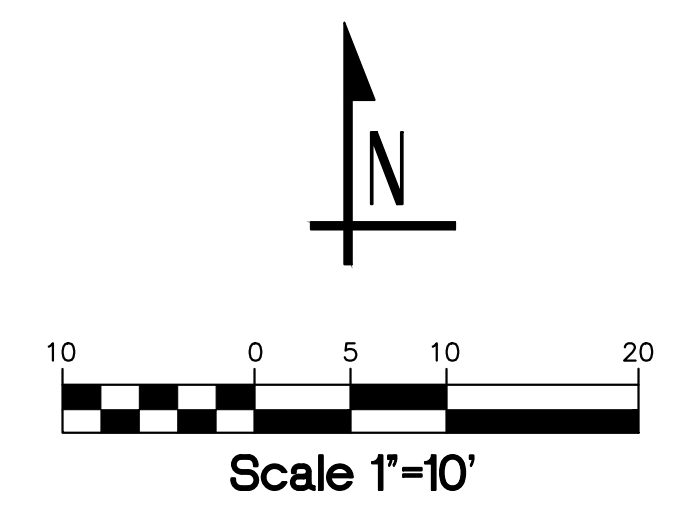
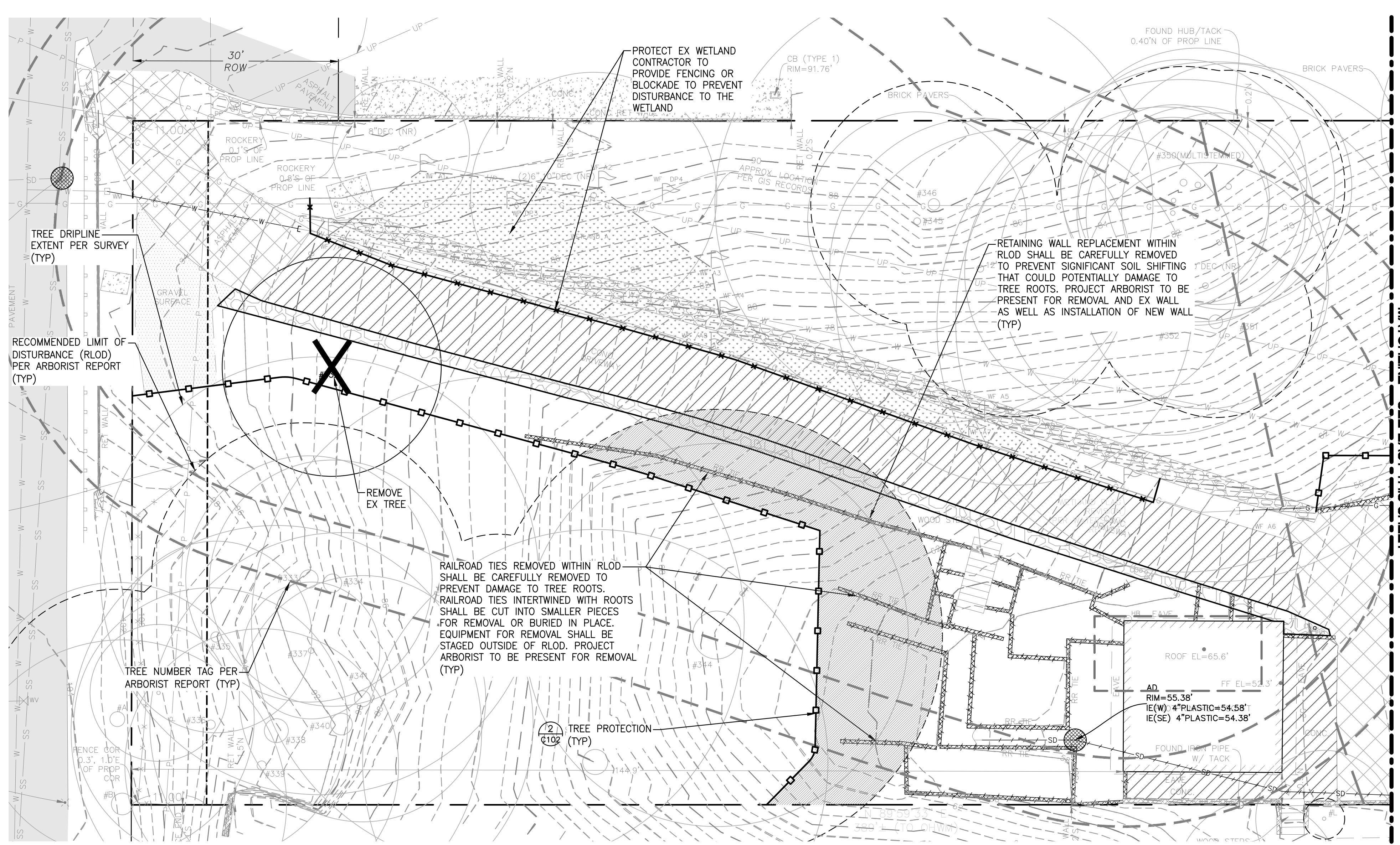
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TESC AND DEMOLITION PLAN C100

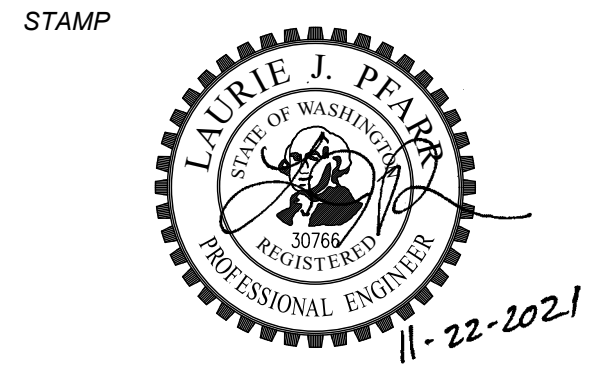


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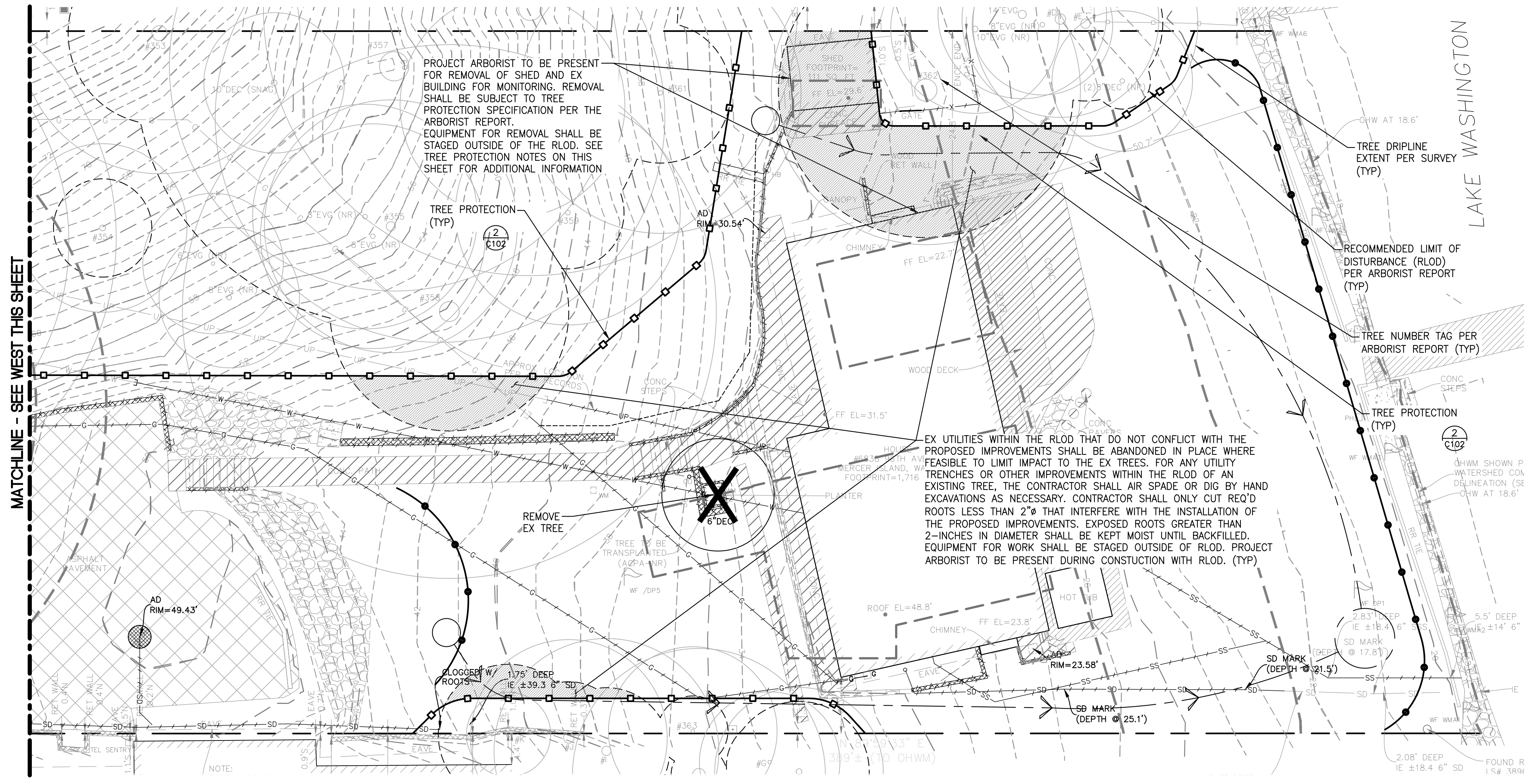
- PROPERTY LINE
- - - EX CONTOUR (INDEX)
- - - EX CONTOUR
- ▨ EX BUILDING
- - - SAWCUT LINE
- ▨ ASPHALT REMOVAL
- ▨ CONCRETE REMOVAL
- ▨ STABILIZED CONSTRUCTION ENTRANCE
- SILT FENCE
- - - WETLAND PROTECTION
- ▨ WORK WITHIN THE RLOD SEE TREE RETENTION PLAN
- EX TREE TO REMAIN
- ✕ EX TREE TO BE REMOVED
- TREE PROTECTION
- CATCH BASIN INSERT PROTECTION
- - - WETLAND BUFFER DELINEATION

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- TREE PROTECTION MEASURES AND SPECIAL INSTRUCTIONS AROUND RETAINED TREES**
- REFER TO ARBORIST REPORT BY TREE SOLUTIONS INC. FOR TREE PROTECTION AND MANAGEMENT INFORMATION.
 - ANY WORK, ACTIVITY OR SOIL DISTURBANCE WITHIN THE PROTECTION FENCING, OR LIMIT OF DISTURBANCE, SHALL BE REVIEWED, APPROVED AND MONITORED BY THE PROJECT ARBORIST.
 - PRIOR TO ANY SITE WORK OR DEMOLITION, TREE PROTECTION FENCING (TPF) SHALL BE ERECTED AROUND RETAINED TREES AS SHOWN. TPF SHALL BE SIX (6) FOOT TEMPORARY CHAIN-LINK FENCE AND SHALL BE INSTALLED COMPLETELY ENCIrcLING THE RETAINED TREES.
 - A CITY PLANNER MUST APPROVE ANY MODIFICATIONS TO THE FENCING MATERIAL AND LOCATION.
 - THE AREA PROTECTED BY THE TPF IS OFF LIMITS TO ALL CONSTRUCTION RELATED ACTIVITY.
 - FENCING SHALL NOT BE MOVED OR REMOVED UNLESS APPROVED BY A CITY PLANNER.
 - NO STOCKPILING OF MATERIALS, VEHICULAR OR PEDESTRIAN TRAFFIC, MATERIAL STORAGE OR USE OF EQUIPMENT OR MACHINERY SHALL BE ALLOWED WITHIN RECOMMENDED LIMIT OF DISTURBANCE (RLOD) TO THE EXTENT FEASIBLE. SOIL PROTECTION IS REQUIRED FOR CONSTRUCTION DISTURBANCE WITHIN THE RLOD. THIS INCLUDES BUT IS NOT LIMITED TO 6-INCHES OF WOOD CHIPS OR MULCH COVERED WITH 3/4" PLYWOOD OR COMPOSITE MATS.
 - ALL GROUNDWORK WITHIN RLOD SHALL BE MONITORED BY PROJECT ARBORIST TO ASSESS ROOT IMPACTS AND GUIDE ROOT CUTTING AS NECESSARY. FOR ANY UTILITY TRENCHES OR OTHER IMPROVEMENTS WITHIN THE RLOD OF AN EXISTING TREE, THE CONTRACTOR SHALL AIR SPADE OR DIG BY HAND EXCAVATIONS. CONTRACTOR SHALL ONLY CUT REQ'D ROOTS LESS THAN 2" THAT INTERFERE WITH THE INSTALLATION OF THE PROPOSED IMPROVEMENTS. EXPOSED ROOTS GREATER THAN 2-INCHES IN DIAMETER SHALL BE KEPT MOIST UNTIL BACKFILLED.
 - BRANCH PRUNING SHALL BE PERFORMED, BY THE CURRENT GARDENER OR AN APPROVED ISA CERTIFIED ARBORIST, WHERE LIMBS OVERHANG THE TPF TO REDUCE INJURY FROM EQUIPMENT. SEE ARBORIST REPORT FOR SPECIFIC TREE PRUNING RECOMMENDATIONS.



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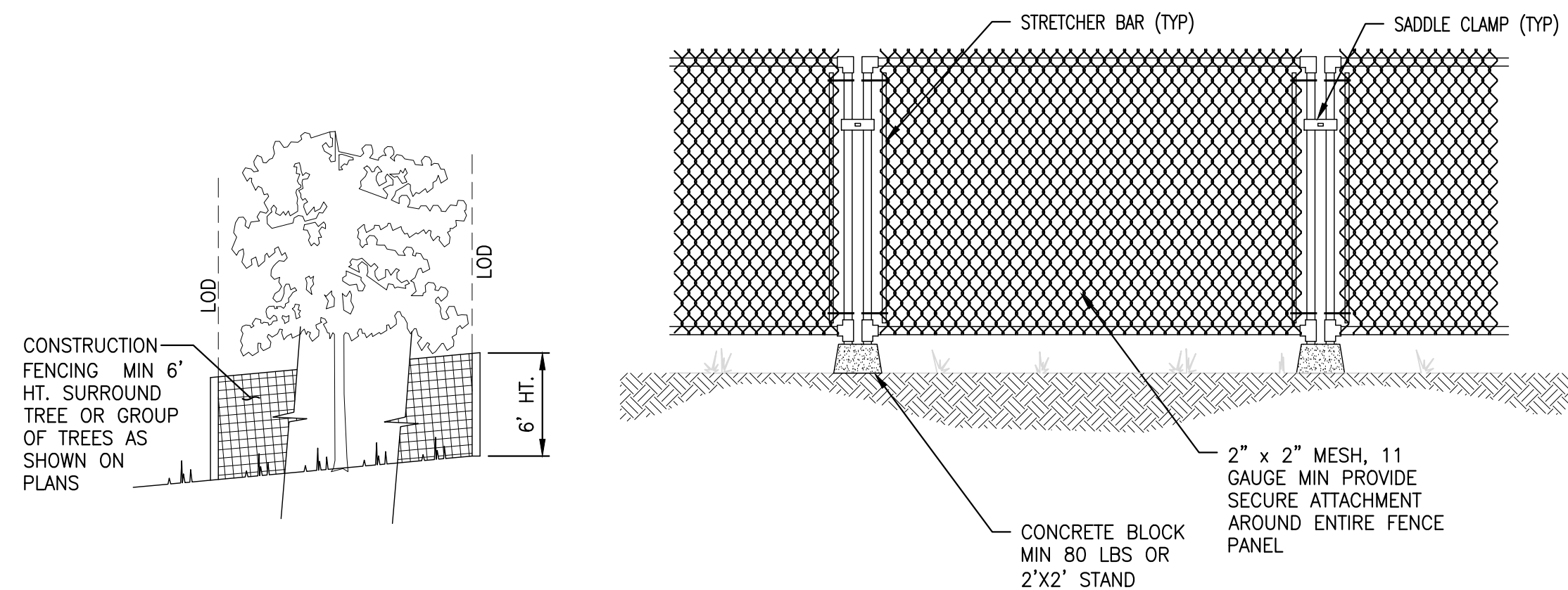
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TREE RETENTION PLAN C101

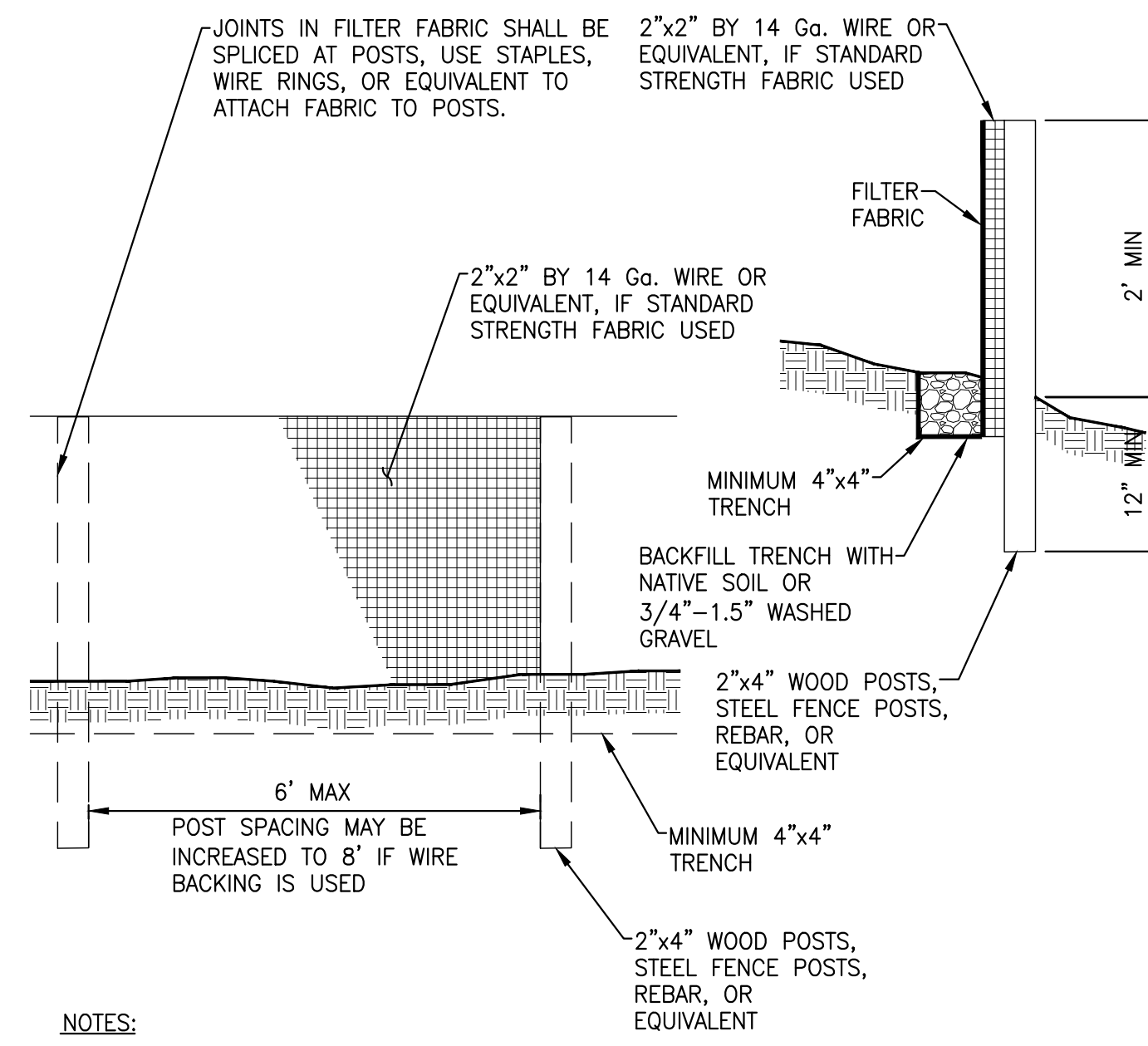




NOTES:

1. A 6 FOOT HIGH TEMPORARY FENCE MUST BE PLACED PRIOR TO THE COMMENCEMENT OF CLEARING OR EARTHWORK. NOTIFY THE CLEARING AND GRADING INSPECTOR TO GET BOTH THE INSPECTION AND WRITTEN APPROVAL OF FLAGGED TREES AND TEMPORARY PROTECTION FENCING AROUND TREES TO BE SAVED PER THE APPROVED CLEARING AND GRADING PLAN.
2. NO STOCKPILING OF MATERIAL AND NO VEHICULAR TRAFFIC ARE ALLOWED WITHIN THE LIMITS OF THE DISTURBANCE (LOD), THE TEMPORARY FENCING, UNLESS APPROVED BY THE ARBORIST. FILLING, EXCAVATION, AND CLEARING MUST BE ACCOMPLISHED BY HAND METHODS ONLY UNLESS APPROVED BY ARBORIST.
3. ROOTS OF TREES TO BE SAVED WHICH ARE DAMAGED DURING CONSTRUCTION MUST BE TREATED IN THE FOLLOWING WAY: FOR DAMAGED ROOTS OVER 2" IN DIAMETER, MAKE A CLEAN, STRAIGHT CUT TO REMOVE THE DAMAGED PORTION OF THE ROOT ALL EXPOSED ROOTS WILL BE TEMPORARILY COVERED WITH DAMP BURLAP OR WOOD SHAVINGS TO PREVENT DRYING AND COVERED WITH EARTH AS SOON AS POSSIBLE.

NTS TREE PROTECTION FENCING 2



NOTES:

1. SILT FENCING WITHIN THE TREE PROTECTION ZONE OF RETAINED TREES SHALL BE INSTALLED IN A MANNER THAT DOES NOT SEVER ROOTS. INSTALL SO THAT SILT FENCING SITS ON THE GROUND AND IS WEIGHED IN PLACE BY SANDBAGS OR GRAVEL. DO NOT TRENCH TO INSERT SILT FENCING INTO THE GROUND.

NTS NOT USED 3

NTS SILT FENCE 4

EROSION AND SEDIMENTATION CONTROL NOTES

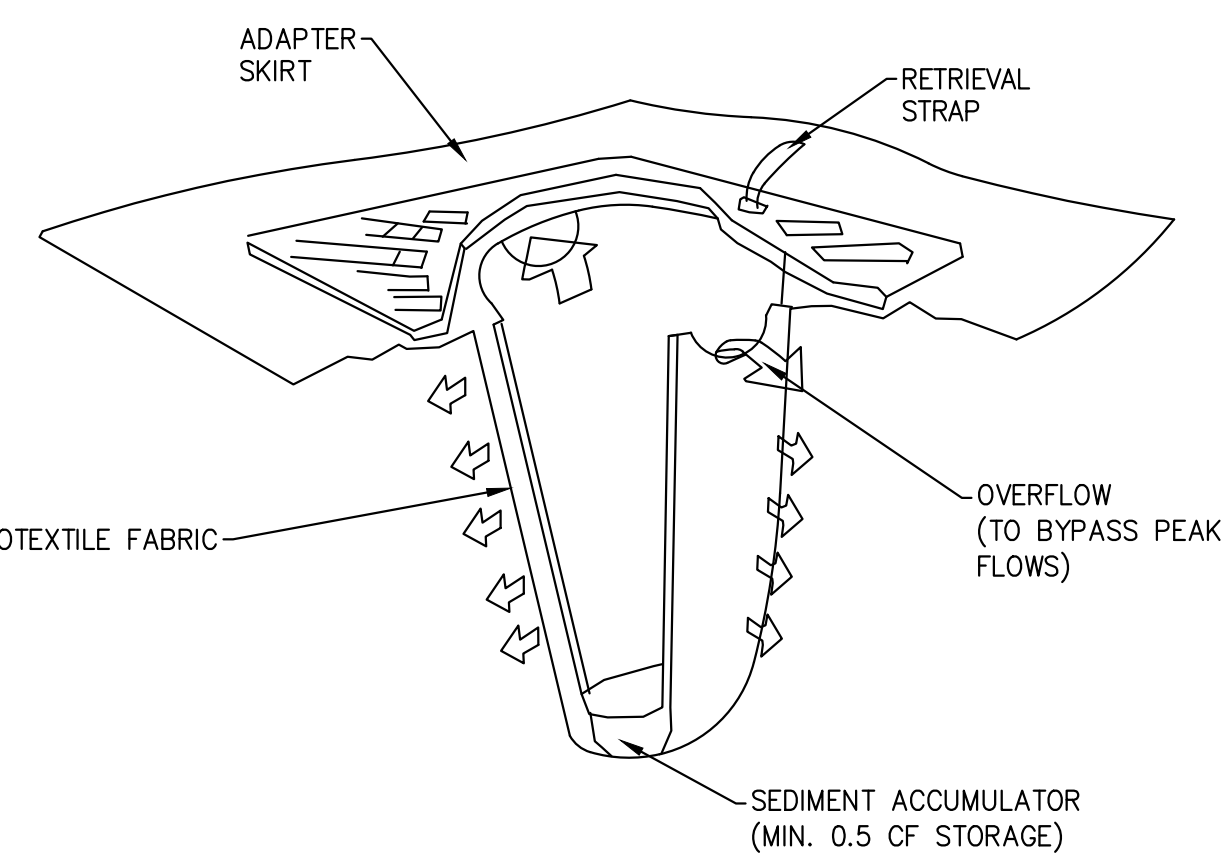
1. THE IMPLEMENTATION OF THESE EROSION SEDIMENTATION CONTROL (ESC) PLANS AND THE CONSTRUCTION, MAINTENANCE, REPLACEMENT, AND UPGRADING OF THESE ESC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR UNTIL ALL CONSTRUCTION IS APPROVED.
2. THE ESC FACILITIES SHOWN ON THIS PLAN MUST BE CONSTRUCTED IN CONJUNCTION WITH ALL CLEARING AND GRADING ACTIVITIES IN SUCH A MANNER AS TO INSURE THAT SEDIMENT-LADEN WATER DOES NOT ENTER THE DRAINAGE SYSTEM OR VIOLATE APPLICABLE WATER STANDARDS, AND MUST BE COMPLETED PRIOR TO ALL OTHER CONSTRUCTION.
3. THE ESC FACILITIES SHOWN ON THIS PLAN ARE THE MINIMUM REQUIREMENTS FOR ANTICIPATED SITE CONDITIONS. DURING THE CONSTRUCTION PERIOD, THESE ESC FACILITIES SHALL BE UPGRADED (E.G. ADDITIONAL SUMPS, RELOCATION OF DITCHES AND SILT FENCES), AS NEEDED FOR UNEXPECTED STORM EVENTS. ADDITIONALLY MORE ESC FACILITIES MAY BE REQUIRED TO ENSURE COMPLETE SILTATION CONTROL. THEREFORE, DURING THE COURSE OF CONSTRUCTION IT SHALL BE THE OBLIGATION AND RESPONSIBILITY OF THE CONTRACTOR TO ADDRESS ANY NEW CONDITIONS THAT MAY BE CREATED BY THEIR ACTIVITIES AND TO PROVIDE ADDITIONAL FACILITIES OVER AND ABOVE THE MINIMUM REQUIREMENTS AS MAY BE NEEDED.
4. THE ESC FACILITIES SHALL BE INSPECTED DAILY DURING NON-RAINFALL PERIODS, EVERY HOUR (DAYLIGHT) DURING A RAINFALL EVENT AND AT THE END OF EVERY RAINFALL BY THE PERMIT HOLDER/CONTRACTOR AND MAINTAINED AS NECESSARY TO ENSURE THEIR CONTINUED FUNCTIONING. IN ADDITION, TEMP. SILTATION PONDS AND ALL TEMP. SILTATION CONTROLS SHALL BE MAINTAINED IN A SATISFACTORY CONDITION UNTIL SUCH TIME THAT CLEARING AND OR CONSTRUCTION IS COMPLETED, PERMANENT DRAINAGE FACILITIES ARE OPERATIONAL, AND THE POTENTIAL FOR EROSION HAS PASSED.
5. ANY AREA STRIPPED OF VEGETATION, INCLUDING ROADWAY EMBANKMENTS WHERE NO FURTHER WORK IS ANTICIPATED FOR A PERIOD OF SEVEN (7) DAYS, SHALL BE IMMEDIATELY STABILIZED WITH THE APPROVED ESC METHODS (E.G. SEEDING, MULCHING, NETTING, EROSION, BLANKETS, ETC.)
6. ANY AREAS NEEDING ESC MEASURES, NOT REQUIRING IMMEDIATE ATTENTION, SHALL BE ADDRESSED WITHIN SEVEN (7) DAYS.
7. THE ESC FACILITIES ON INACTIVE SITES SHALL BE INSPECTED AND MAINTAINED A MINIMUM OF ONCE A MONTH OR WITHIN THE 48 HOURS FOLLOWING A STORM EVENT.
8. AT NO TIME SHALL MORE THAN ONE FOOT OF SEDIMENT BE ALLOWED TO ACCUMULATE WITHIN A CATCH BASIN. ALL CATCH BASINS AND CONVEYANCE LINES SHALL BE CLEANED PRIOR TO PAVING. THE CLEANING OPERATION SHALL NOT FLUSH SEDIMENT LADEN WATER INTO DOWNSTREAM SYSTEM.
9. WHERE SEEDING FOR TEMPORARY EROSION CONTROL IS REQUIRED, FAST GERMINATING GRASSES SHALL BE APPLIED AT AN APPROPRIATE RATE (E.G. ANNUAL OR PERENNIAL RYE APPLIED AT APPROXIMATELY 80 POUNDS PER ACRE).
10. WHERE STRAW MULCH FOR TEMPORARY EROSION CONTROL IS REQUIRED, IT SHALL BE APPLIED AT A MINIMUM THICKNESS OF THREE INCHES.
11. ALL WORK AND MATERIALS SHALL BE IN ACCORDANCE WITH THE CITY OF MERCER ISLAND STANDARDS AND SPECIFICATIONS.
12. EROSION/SEDIMENTATION CONTROL FACILITIES SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE DETAILS IN DEPARTMENT OF ECOLOGY STORMWATER MANAGEMENT MANUAL, UNLESS OTHERWISE APPROVED BY THE CITY ENGINEER.
13. A COPY OF THE APPROVED EROSION CONTROL PLANS MUST BE ON THE JOB SITE WHENEVER CONSTRUCTION IS IN PROGRESS.
14. TEMPORARY EROSION/SEDIMENTATION CONTROLS SHALL BE INSTALLED & OPERATING PRIOR TO ANY GRADING OR LAND CLEARING.
15. WHEREVER POSSIBLE, MAINTAIN NATURAL VEGETATION FOR SILT CONTROL.
16. ALL CUT AND FILL SLOPES 5:1 (5 FEET HORIZONTAL TO 1 FOOT VERTICAL) OR STEEPER THAT WILL BE LEFT EXPOSED FOR MORE THAN 7 DAYS SHALL BE PROTECTED BY JUTE MATTING, PLASTIC SHEETING, MULCH, OR OTHER APPROVED STABILIZATION METHOD AND PROVIDED WITH ADEQUATE RUNOFF CONVEYANCE TO INTERCEPT RUNOFF AND CONVEY IT TO AN APPROVED STORM DRAIN.
17. OFF-SITE STREETS MUST BE KEPT CLEAN AT ALL TIMES. IF DIRT IS DEPOSITED ON THE PUBLIC STREET, THE STREET SHALL BE CLEANED. ALL VEHICLES SHALL LEAVE THE SITE BY WAY OF THE CONSTRUCTION VEHICLE ENTRANCE AND SHALL BE CLEANED OF MUD PRIOR TO EXITING ONTO THE STREET. SILT SHALL BE CLEANED FROM ALL CATCH BASINS WHEN THE BOTTOM HALF BECOMES FILLED WITH SILT.
18. ANY CATCH BASIN COLLECTING WATER FROM THE SITE, WHETHER THEY ARE ON OR OFF OF THE SITE, SHALL HAVE THEIR GRATES COVERED WITH FILTER FABRIC DURING CONSTRUCTION.
19. IF ANY PORTION OF THE EROSION/SEDIMENTATION CONTROL ELEMENTS ARE DAMAGED OR NOT FUNCTIONING, OR IF THE CLEARING LIMIT BOUNDARY BECOMES NON-DEFINED, IT SHALL BE REPAIRED IMMEDIATELY.

NTS EROSION AND SEDIMENTATION CONTROL NOTES 9

CITY OF MERCER ISLAND NOTES

1. ANY CHANGES TO THE APPROVED PLANS REQUIRES CITY APPROVAL THROUGH A REVISION.
2. APPLICANT IS RESPONSIBLE FOR ANY DAMAGES TO UNDERGROUND UTILITIES CAUSED FROM THIS CONSTRUCTION.
3. CATCH BASIN FILTERS SHOULD BE PROVIDED FOR ALL STORM DRAIN CATCH BASIN/INLETS DOWNSLOPE AND WITHIN 500 FEET OF THE CONSTRUCTION AREA. CATCH BASIN FILTERS SHOULD BE DESIGNED BY THE MANUFACTURER FOR USE AT CONSTRUCTION SITES AND APPROVED BY THE CITY INSPECTOR. CATCH BASIN FILTERS SHOULD BE INSPECTED FREQUENTLY, ESPECIALLY AFTER STORM EVENTS. IF THE FILTER BECOMES CLOGGED, IT SHOULD BE CLEANED OR REPLACED.
4. CONTRACTORS SHALL VERIFY LOCATIONS AND DEPTHS OF UTILITIES.
5. AT LEAST 48 HOURS PRIOR TO CONSTRUCTION, CALL "ONE CALL" AT 1.800.425.5555.
6. DO NOT BACKFILL WITH NATIVE MATERIAL ON PUBLIC RIGHT-OF-WAY. ALL MATERIAL MUST BE IMPORTED.
7. EROSION CONTROL: ALL "LAND DISTURBING ACTIVITY" IS SUBJECT TO PROVISIONS OF MERCER ISLAND ORDINANCE 95C-118 "STORM WATER MANAGEMENT." SPECIFIC ITEMS TO BE FOLLOWED AT YOUR SITE.
8. PROTECT ADJACENT PROPERTIES FROM ANY INCREASED RUNOFF OR SEDIMENTATION DUE TO THE CONSTRUCTION PROJECT THROUGH THE USE OF APPROPRIATE "BEST MANAGEMENT PRACTICES" (BMP) EXAMPLES INCLUDE, BUT ARE NOT LIMITED TO, SEDIMENT TRAPS, SEDIMENT PONDS, FILTER FABRIC FENCES, VEGETATIVE BUFFER STRIPS OR BIOENGINEERED SWALES.
9. CONSTRUCTION ACCESS TO SITE SHOULD BE LIMITED TO ONE ROUTE. STABILIZE ENTRANCE WITH QUARRY SPALLS TO PREVENT SEDIMENT FROM LEAVING THE SITE OR ENTERING THE STORM DRAINS.
10. PREVENT SEDIMENT, CONSTRUCTION DEBRIS, PAINTS, SOLVENTS, ETC., OR OTHER TYPES OF POLLUTION FROM ENTERING PUBLIC STORM DRAINS. KEEP ALL POLLUTION ON YOUR SITE.
11. ALL EXPOSED SOILS SHALL REMAIN DENUDED FOR NO LONGER THAN SEVEN (7) DAYS AND SHALL BE STABILIZED WITH MULCH, HAY, OR THE APPROPRIATE GROUND COVER. ALL EXPOSED SOILS SHALL BE COVERED IMMEDIATELY DURING ANY RAIN EVENT.
12. INSTALLATION OF CONCRETE DRIVEWAYS, TREES, SHRUBS, IRRIGATION, BOULDERS, BERMS, WALLS, GATES, AND OTHER IMPROVEMENTS ARE NOT ALLOWED IN THE PUBLIC RIGHT-OF-WAY WITHOUT PRIOR APPROVAL, AND AN ENCROACHMENT AGREEMENT AND RIGHT OF WAY PERMIT FROM THE SENIOR DEVELOPMENT ENGINEER.
13. OWNER SHALL CONTROL DISCHARGE OF SURFACE DRAINAGE RUNOFF FROM EXISTING AND NEW IMPERVIOUS AREAS IN A RESPONSIBLE MANNER. CONSTRUCTION OF NEW GUTTERS AND DOWNSPOUTS, DRY WELLS, LEVEL SPREADERS OR DOWNSTREAM CONVEYANCE PIPE MAY BE NECESSARY TO MINIMIZE DRAINAGE IMPACT TO YOUR NEIGHBORS. CONSTRUCTION OF MINIMUM DRAINAGE IMPROVEMENTS SHOWN OR CALLED OUT ON THIS PLAN DOES NOT IMPLY RELIEF FROM CIVIL LIABILITY FOR YOUR DOWNSTREAM DRAINAGE.
14. POT HOLING THE PUBLIC UTILITIES IS REQUIRED PRIOR TO ANY GRADING ACTIVITIES LESS THAN 6" OVER THE PUBLIC MAINS (WATER, SEWER AND STORM SYSTEMS). IF THERE IS A CONFLICT, THE APPLICANT IS REQUIRED TO SUBMIT A REVISION FOR APPROVAL PRIOR TO ANY GRADING ACTIVITIES OVER THE PUBLIC MAINS.
15. REMEMBER: EROSION CONTROL IS YOUR FIRST INSPECTION.
16. ROOF DRAINS MUST BE CONNECTED TO THE STORM DRAIN SYSTEM AND INSPECTED BY THE PUBLIC WORKS DEPARTMENT PRIOR TO ANY BACKFILLING OF PIPE.
17. SILT FENCE: CLEAN AND PROVIDE REGULAR MAINTENANCE OF THE SILT FENCE. THE FENCE IS TO REMAIN VERTICAL AND IS TO FUNCTION PROPERLY THROUGHOUT THE TERM OF THE PROJECT.
18. WORK IN PUBLIC RIGHT OF WAY REQUIRES A RIGHT-OF-WAY USE PERMIT.
19. REFER TO WATER SERVICE PERMIT FOR ACTUAL LOCATION OF NEW WATER METER AND SERVICE LINE DETERMINED BY MERCER ISLAND WATER DEPARTMENT.
20. THE TV INSPECTION OF THE EXISTING SIDE SEWER TO THE CITY SEWER MAIN IS REQUIRED. IF THE RESULT OF THE TV INSPECTION IS NOT IN SATISFACTORY CONDITION, AS DETERMINED BY THE CITY OF MERCER ISLAND INSPECTOR, THE REPLACEMENT OF THE EXISTING SIDE SEWER IS REQUIRED. ALTERNATELY, A PRESSURE TEST OF THE SIDE SEWER, FROM SEWER MAIN TO POINT OF CONNECTION, MAY BE SUBSTITUTED FOR THE VIDEO INSPECTION.
21. NEWLY INSTALLED SIDE SEWER REQUIRES A 4 P.S.I. AIR TEST OR PROVIDE 10' OF HYDROSTATIC HEAD TEST.
22. THE LIMITS AND EXTENTS OF THE PAVEMENT IN THE PUBLIC RIGHT OF WAY SHALL BE DETERMINED BY THE CITY ENGINEER PRIOR TO FINALIZING THE PROJECT.
23. TREE PROTECTION INSPECTION REQUIRED BEFORE ANY WORK BEGINS, CALL 206-275-7713.

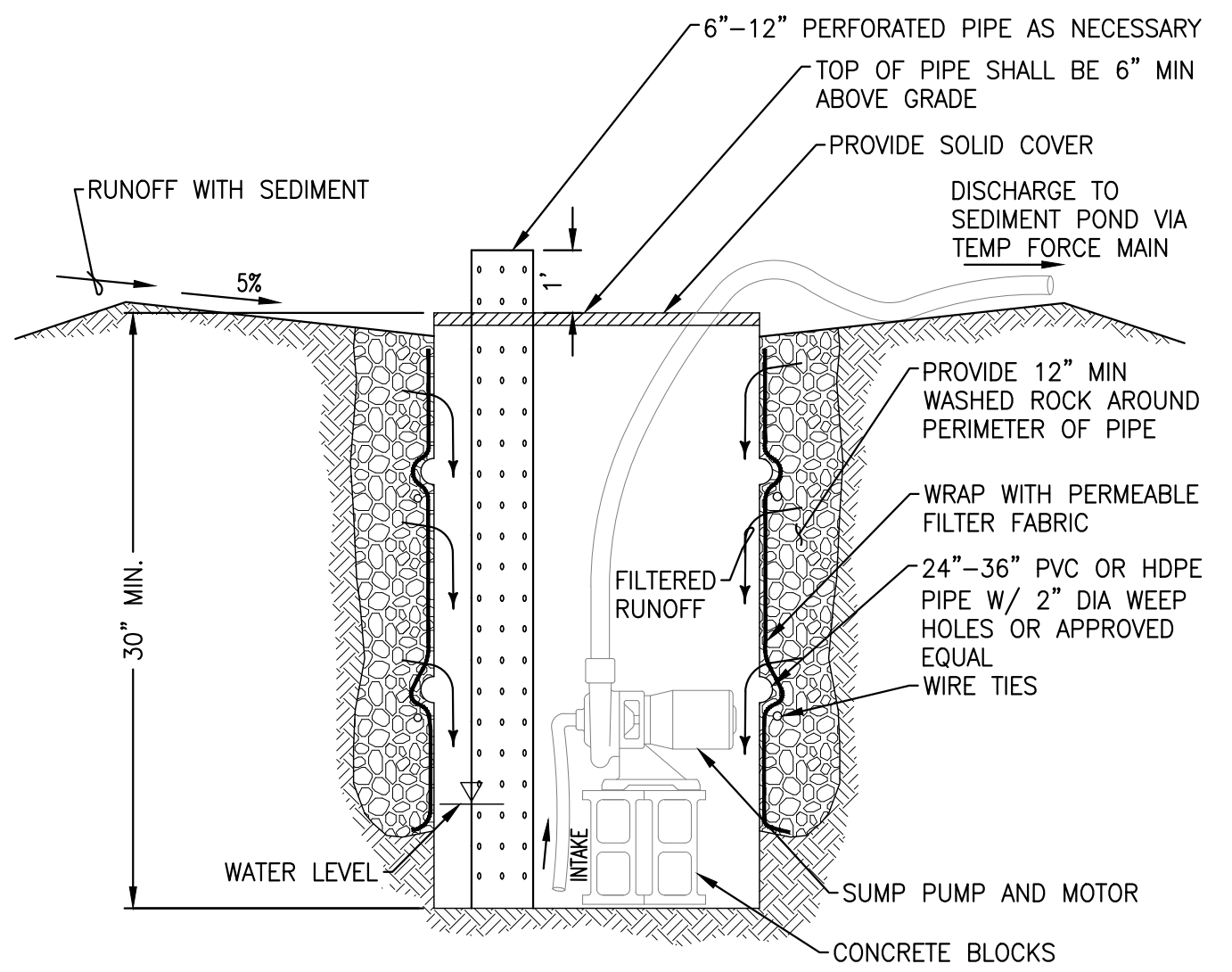
NTS CITY OF MERCER ISLAND NOTES 10



SCHEMATIC DETAIL

PROVIDE "STREAMGUARD SEDIMENT CATCH BASIN INSERT" OR APPROVED EQUAL
 MANUFACTURER'S NAME: BOWHEAD ENVIRONMENTAL & SAFETY
 ADDRESS: P.O. BOX 375 PRESTON, WA 98050
 TELEPHONE: FOR INFORMATION: (800) 909-3677
 WWW.SHOPBOWHEAD.COM

NTS CATCH BASIN PROTECTION 11



NTS NOT USED 7

NTS SUMP AND PUMP 8

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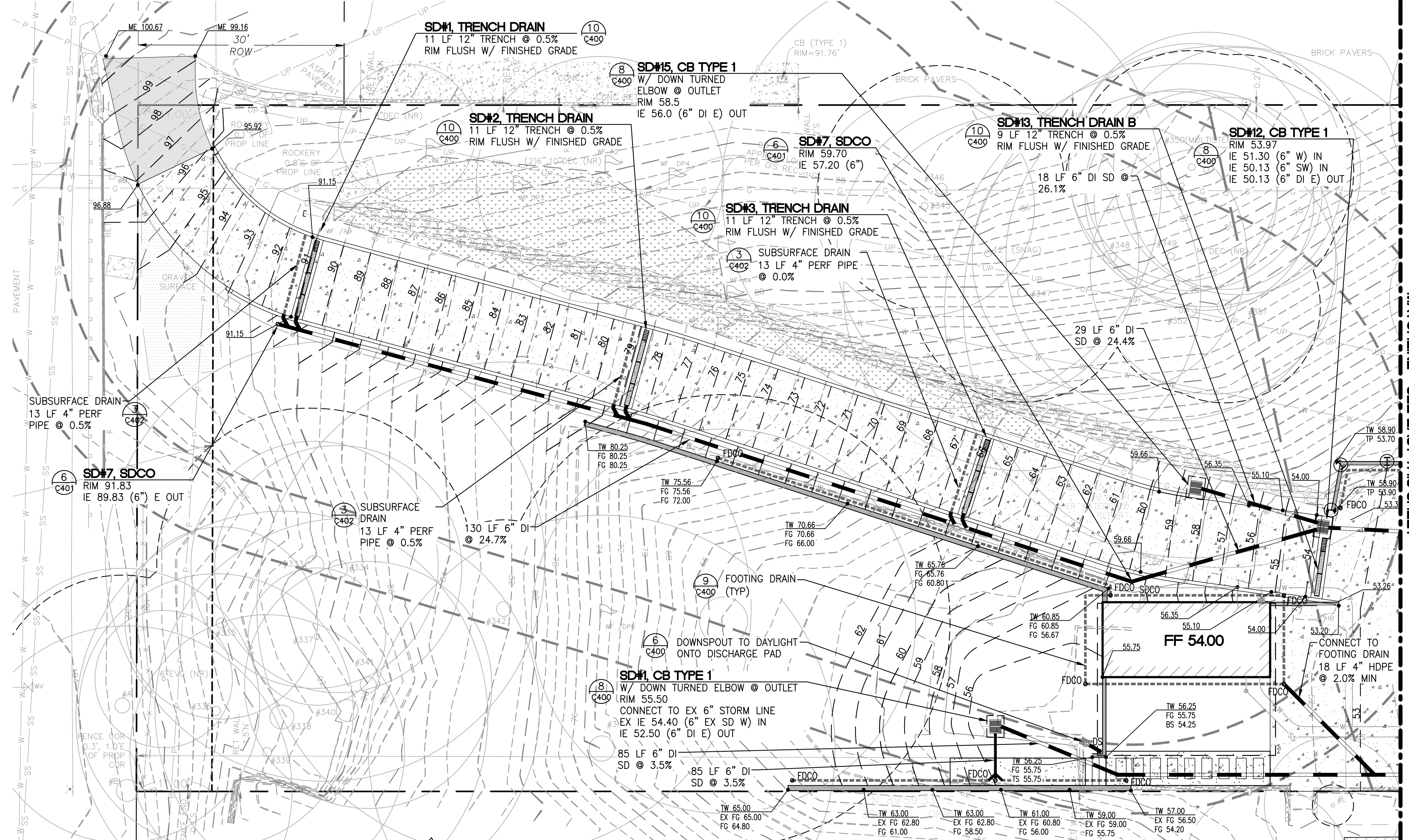
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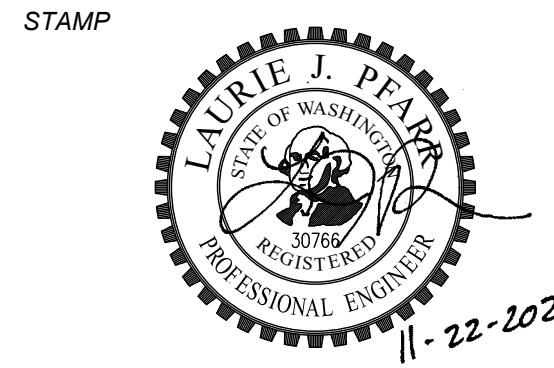
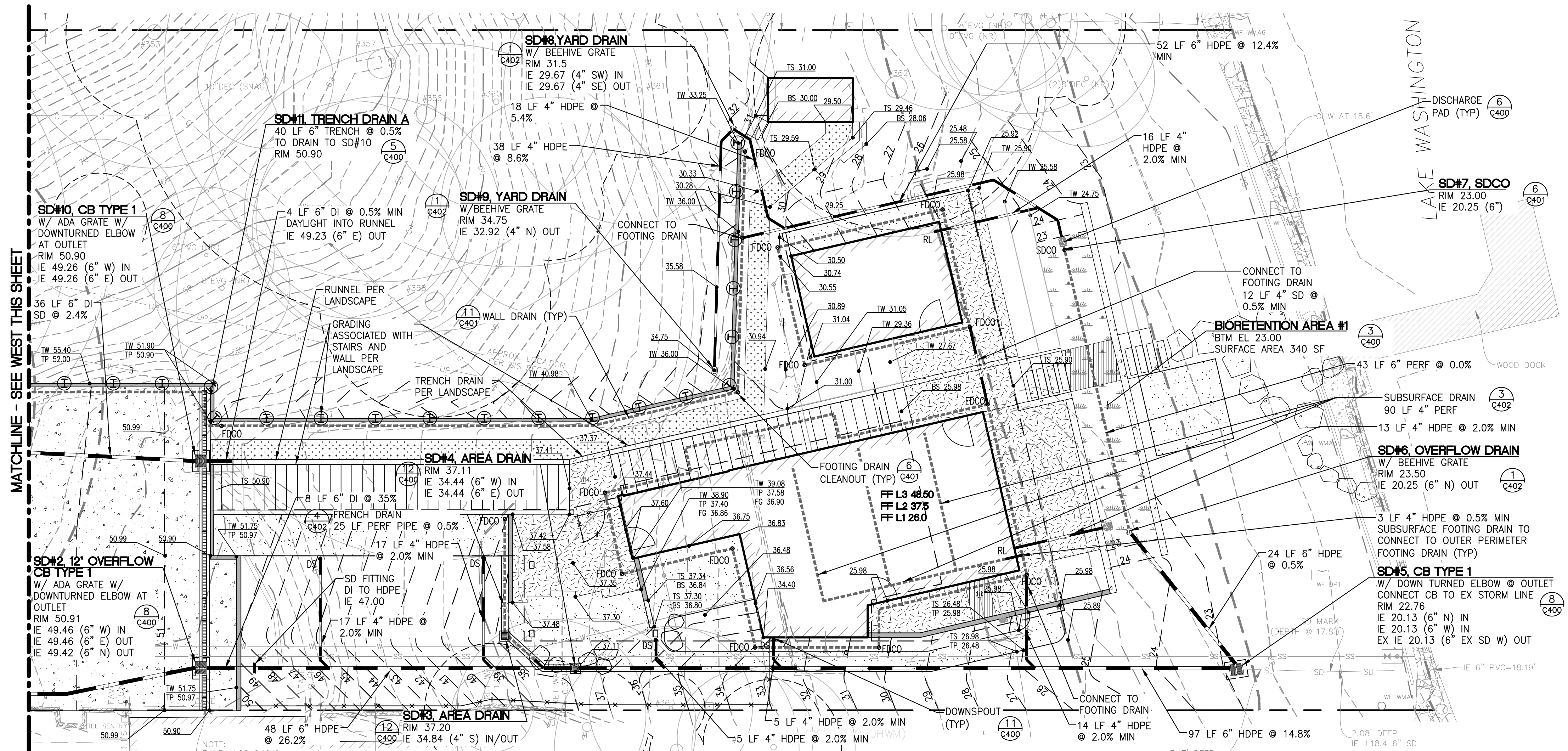
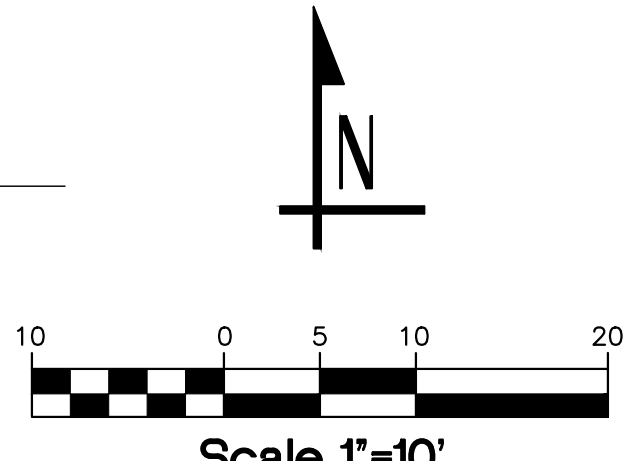
TESC DETAILS

C102

NTS NOT USED 12



- ### LEGEND
- PROPERTY LINE
 - EX CONTOUR (INDEX)
 - EX CONTOUR
 - PROPOSED CONTOUR (INDEX)
 - PROPOSED CONTOUR
 - SPOT ELEVATION
 - TOP OF PAVE, TOP OF WALL, FINISHED GRADE
 - TOP OF STEP, BOTTOM STEP, MATCH EX
 - FF 78.0
 - EX BUILDING
 - PROPOSED BUILDING
 - CONCRETE PAVEMENT
 - ASPHALT (AC) PAVEMENT
 - GRAVEL SURFACING PER LA
 - SURFACING PER LA
 - SITE WALL
 - TRENCH/CHANNEL DRAIN
 - BIORETENTION POND
 - QUARRY SPALL DISCHARGE PAD
 - AREA/YARD DRAIN
 - CATCH BASIN TYPE 1
 - STORM DRAINAGE PIPE
 - FOOTING/SUBSURFACE DRAIN
 - SDCO
 - FDCO
 - DS
 - SIDE SEWER PIPE
 - SEWER CLEANOUT
 - SIDE SEWER CONNECTION
 - WATER SERVICE LINES



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 MERCER ISLAND, WA 98040
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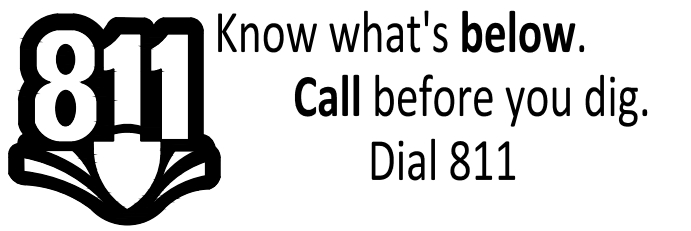
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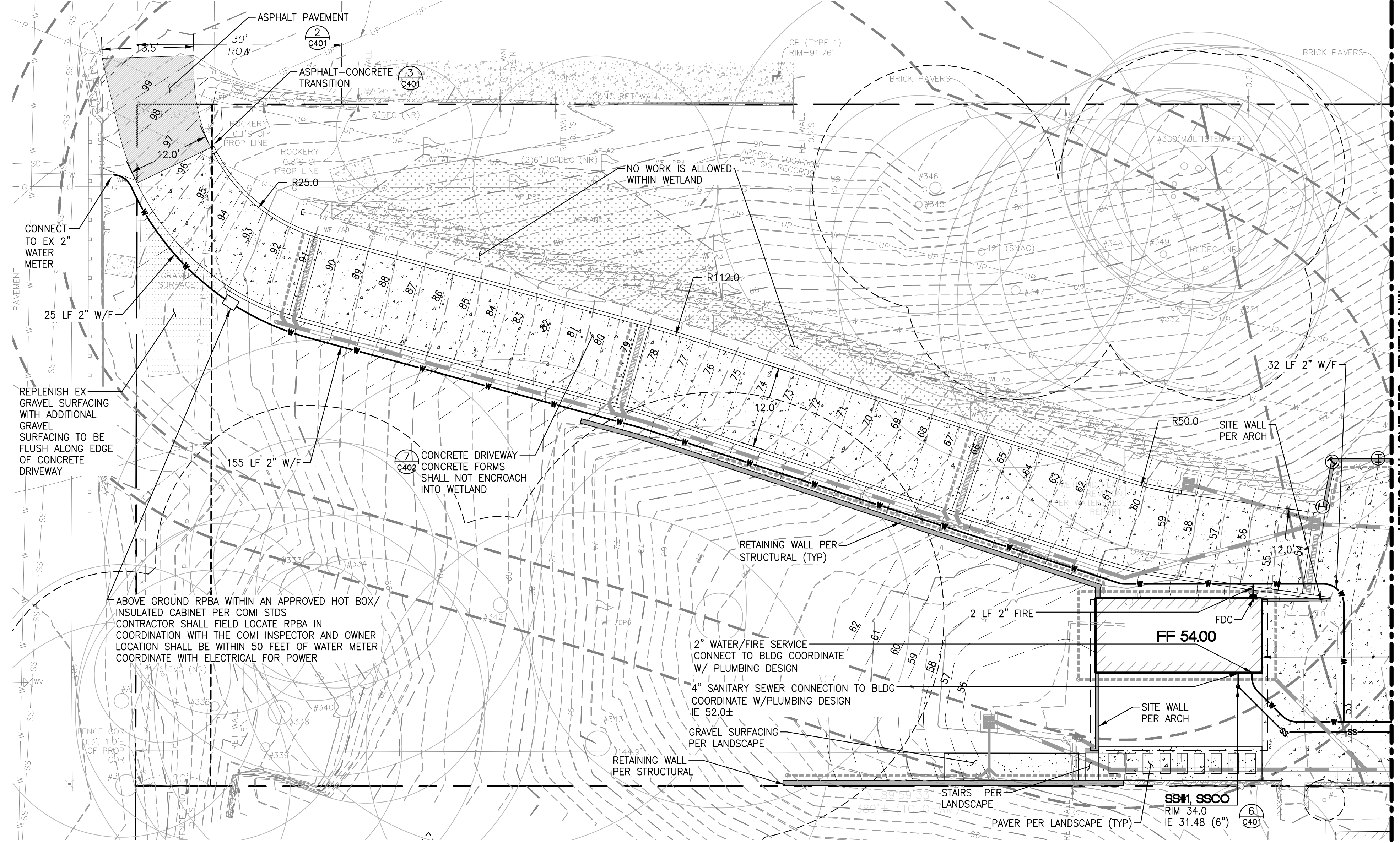
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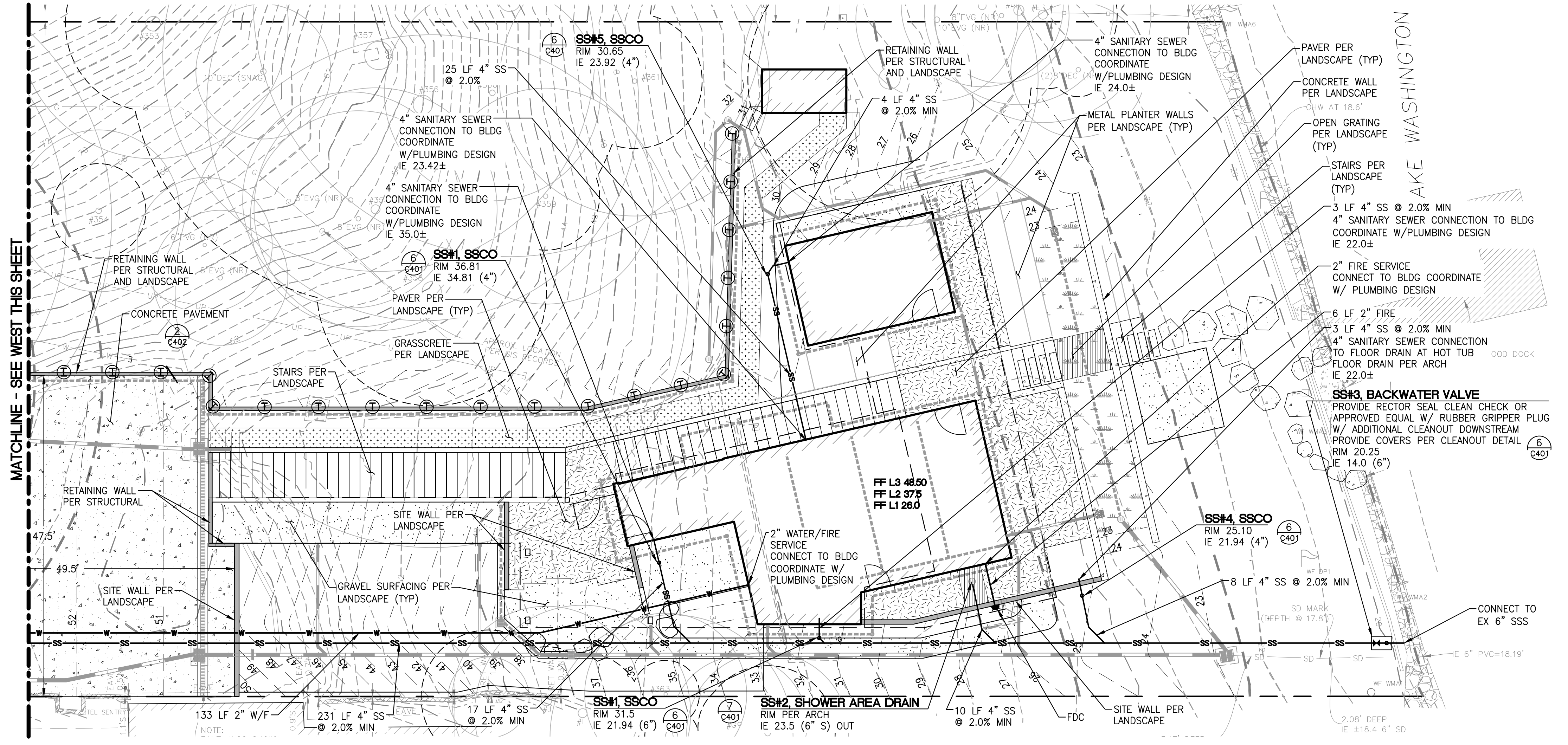
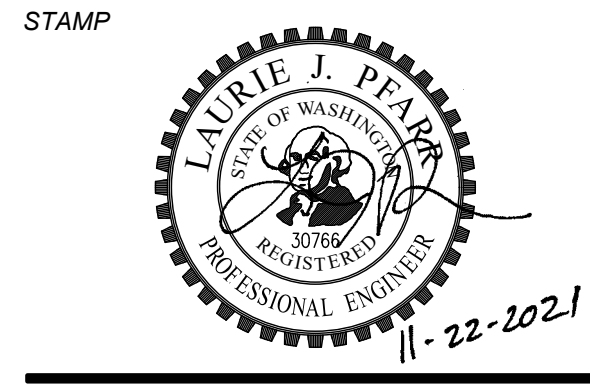
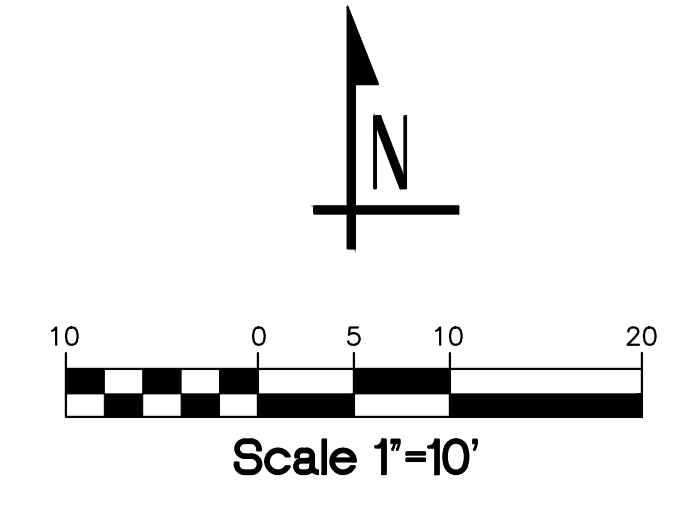
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 Issue Date: NOVEMBER 24, 2021

GRADING AND DRAINAGE PLAN C200





- LEGEND**
- PROPERTY LINE
 - - - EX CONTOUR (INDEX)
 - - - EX CONTOUR
 - - - PROPOSED CONTOUR (INDEX)
 - - - PROPOSED CONTOUR
 - FF 78.0** FINISHED FLOOR ELEVATION
 - [Hatched Box] EX BUILDING
 - [Hatched Box] PROPOSED BUILDING
 - [Dotted Box] CONCRETE PAVEMENT
 - [Dotted Box] ASPHALT (AC) PAVEMENT
 - [Dotted Box] GRAVEL SURFACING PER LA
 - [Dotted Box] SURFACING PER LA
 - [Solid Line] SITE WALL
 - [Dashed Line] TRENCH/CHANNEL DRAIN
 - [Dotted Box] BIORETENTION POND
 - [Square with X] QUARRY SPALL DISCHARGE PAD
 - [Square with X] AREA/YARD DRAIN
 - [Square with X] CATCH BASIN TYPE 1
 - [Arrow] STORM DRAINAGE PIPE
 - [Dashed Line] FOOTING/SUBSURFACE DRAIN
 - [Circle with X] STORM DRAIN CLEANOUT
 - [Circle with X] FOOTING DRAIN CLEANOUT
 - [Circle with X] DOWNSPOUTS
 - [Line with X] SSSO SIDE SEWER PIPE
 - [Line with X] SEWER CLEANOUT
 - [Line with X] SIDE SEWER CONNECTION
 - [Line with X] WATER SERVICE LINES



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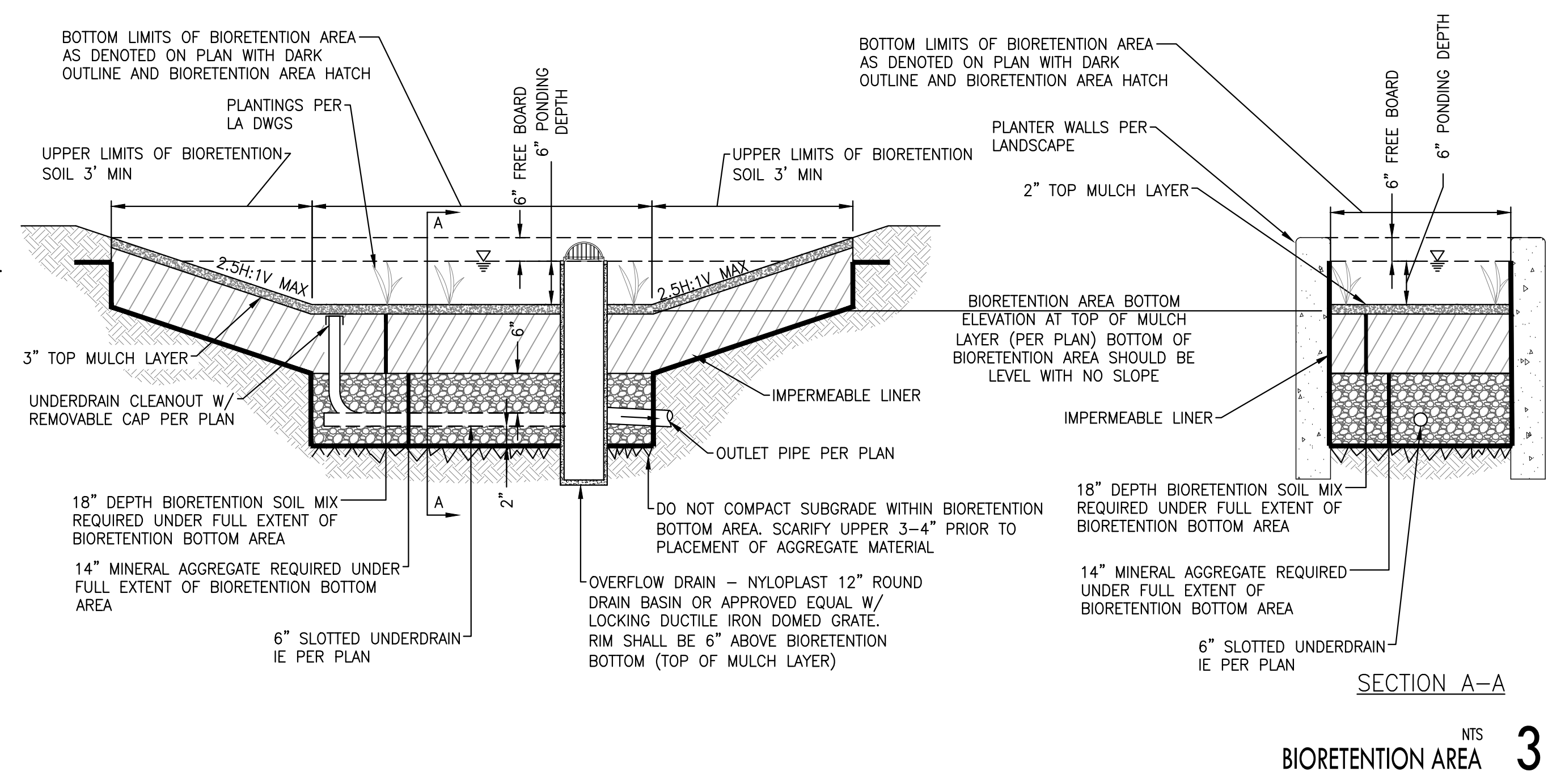
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SHEET
UTILITIES & PAVING PLAN
C300

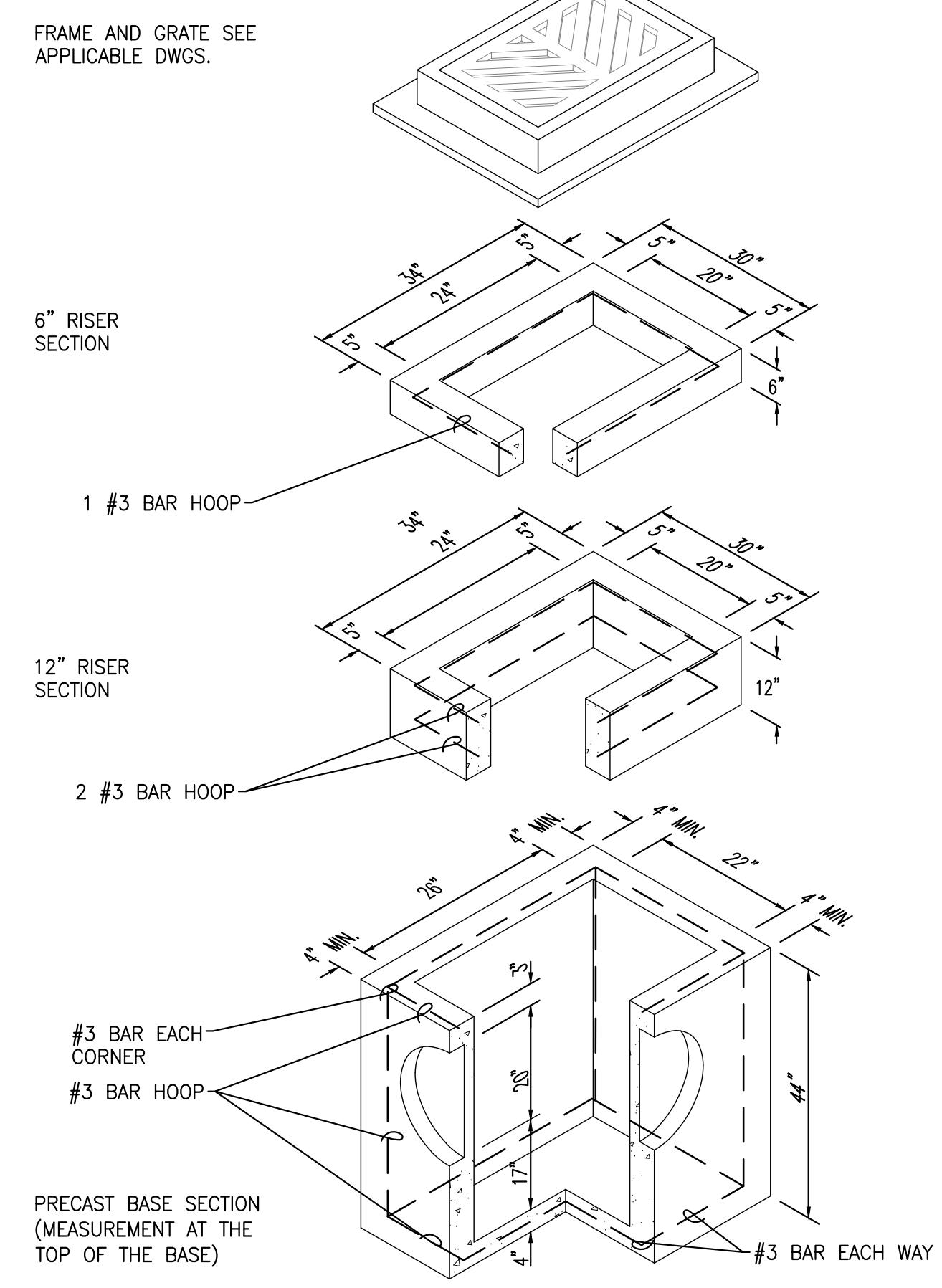


CONSTRUCTION SEQUENCE FOR BIORETENTION AREA

1. INSTALL TEMPORARY SEDIMENT CONTROL BMP'S AS SHOWN ON PLAN.
2. COMPLETE SITE GRADING. PROVIDE PROTECTION SO THAT DRAINAGE IS PROHIBITED FROM ENTERING BIORETENTION CONSTRUCTION AREA.
3. SITE STABILIZATION TO BE COMPLETE PRIOR TO INSTALLATION OF BIORETENTION AREA. BIORETENTION AREAS THAT WERE USED AS TEMPORARY SEDIMENT TRAPS SHOULD BE EXCAVATED 12 INCHES BELOW THE BOTTOM OF THE SEDIMENT TRAP PRIOR TO CONSTRUCTION OF BIORETENTION AREA.
4. EXCAVATE BIORETENTION AREA TO PROPOSED DEPTH AND SCARIFY THE TOP 3"-4" OF EXISTING SOIL SURFACES.
5. INSTALL IMPERVIOUS LINER, SLIT LINER AND OVERLAP 12" OVER OUTLET PIPE.
6. INSTALL PVC SLOTTED UNDERDRAIN PIPE AND MINER AGGREGATE PER PLAN. SEE STORM DRAIN SPECS FOR SLOT DIMENSIONS.
7. BACKFILL BIORETENTION AREA WITH AGGREGATE MATERIAL AND BIORETENTION SOIL MIX, OVERFILLING IS RECOMMENDED TO ACCOUNT FOR SETTLEMENT. LIGHT HAND TAMPING IS ACCEPTABLE IF NECESSARY.
8. BIORETENTION SOIL MIX SHALL CONSIST OF THE FOLLOWING:
 - AGGREGATE TO COMPOST RATIO: 60% MINERAL AGGREGATE (WITH LESS THAN 5% FINES), 40% COMPOST (MEET REQUIREMENTS IN WAC 173-350-220)
 - TOTAL BIORETENTION SOIL MIX ORGANIC CONTENT SHALL BE 4-8% (BY DRY WEIGHT)
 - BIORETENTION SOIL DEPTH SHALL BE A MINIMUM OF 18-INCHES
 - BIORETENTION SOIL MIX SHALL HAVE A MINIMUM INFILTRATION RATE OF 6"/HR
9. PRESOAK THE PLANTING SOIL PRIOR TO PLANTING VEGETATION TO AID IN SETTLEMENT.
10. COMPLETE FINAL GRADING TO ACHIEVE PROPOSED DESIGN ELEVATIONS. LEAVE SPACE FOR UPPER LAYER OF MULCH AS SPECIFIED ON PLANS.
11. PLANT VEGETATION ACCORDING TO PLANTING PLAN.
12. MULCH AND INSTALL EROSION PROTECTION AT SURFACE FLOW ENTRANCES WHERE NECESSARY UNTIL ENTIRE SITE IS STABILIZED. MULCH MUST BE WOOD CHIPS CONSISTING OF SHREDED OR CHIPPED HARDWOOD. MULCH SHOULD NOT CONTAIN WEED SEEDS, GRASS CLIPPINGS, AND LARGE CHUNKS OF BARK.
13. CONTRACTOR IS RESPONSIBLE FOR KEEPING BIORETENTION SOIL SEDIMENT FREE AFTER INSTALLATION AND UPON COMPLETION OF CONSTRUCTION, AND ANY SEDIMENT CONTAMINATED BIORETENTION SOIL SHALL BE REMOVED AND REPLACED AT THE CONTRACTORS EXPENSE.

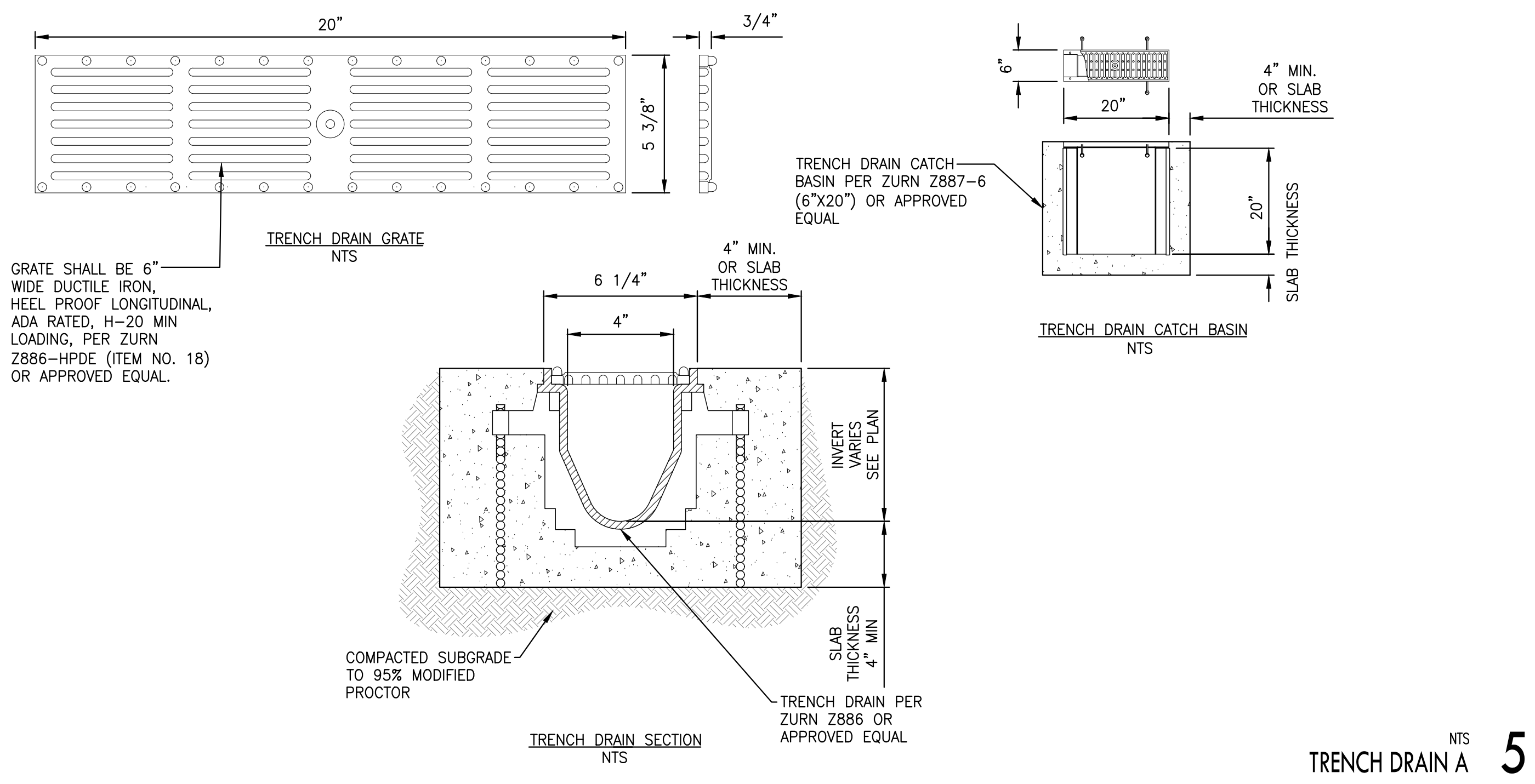


SECTION A-A
BIORETENTION AREA 3

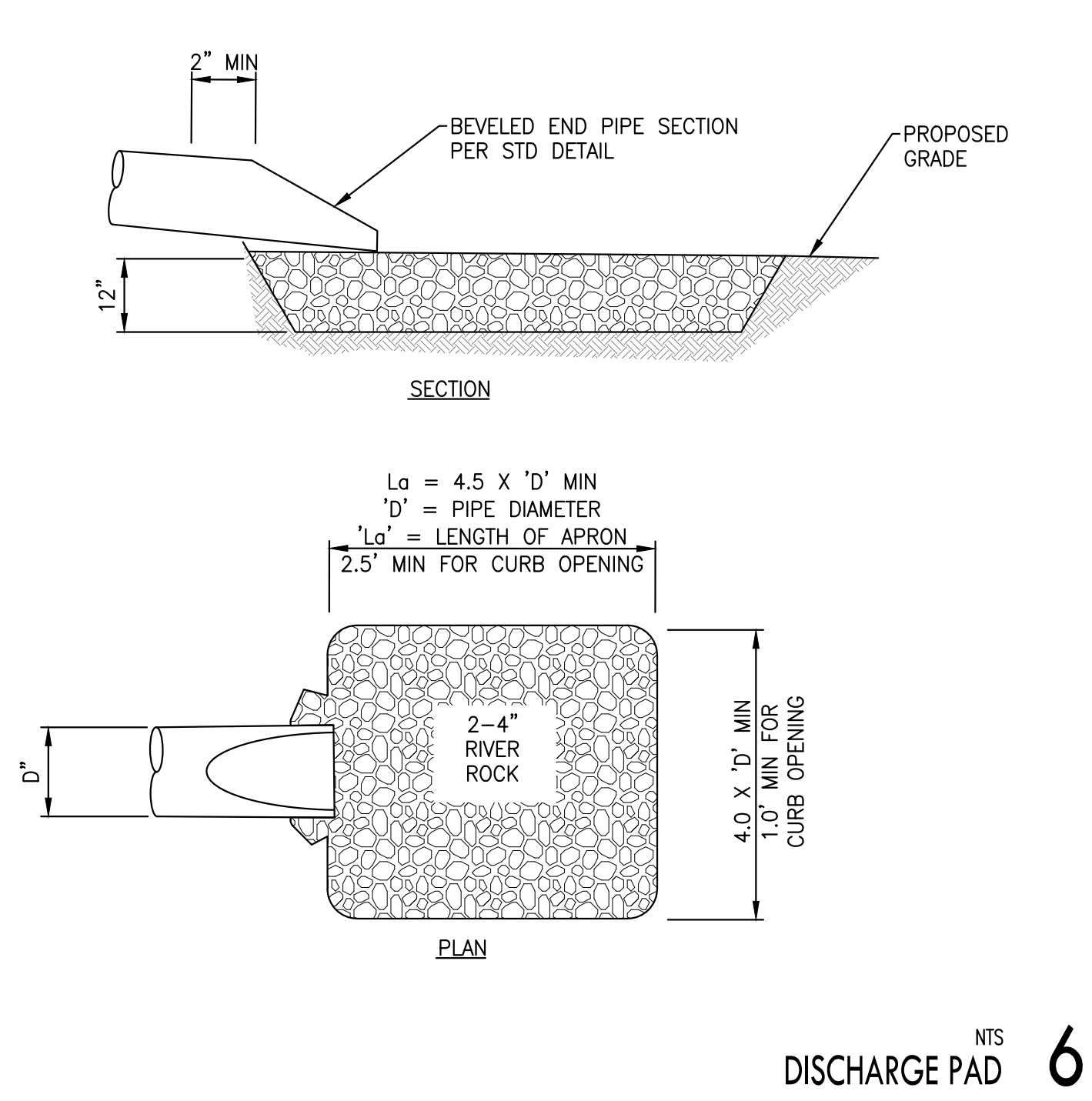


- NOTES:
1. CATCH BASINS SHALL BE CONSTRUCTED IN ACCORDANCE WITH ASTM C478 (AASHTO M 199) & C890 UNLESS OTHERWISE SHOWN ON PLANS OR NOTED IN THE WSDOT/APWA STANDARD SPECIFICATIONS.
 2. AS AN ACCEPTABLE ALTERNATIVE TO REBAR, WELDED WIRE FABRIC HAVING A MIN. AREA OF 0.12 SQUARE INCHES PER FOOT MAY BE USED. WELDED WIRE FABRIC SHALL COMPLY TO ASTM A497 (AASHTO M 221). WIRE FABRIC SHALL NOT BE PLACED IN KNOCKOUTS.
 3. ALL REINFORCED CAST-IN-PLACE CONCRETE SHALL BE CLASS 4000.
 4. PRECAST BASES SHALL BE FURNISHED WITH CUTOUTS OR KNOCKOUTS. KNOCKOUTS SHALL HAVE A WALL THICKNESS OF 2" MIN. ALL PIPE SHALL BE INSTALLED IN FACTORY PROVIDED KNOCKOUTS. UNUSED KNOCKOUTS NEED NOT BE GROUTED IF WALL IS LEFT INTACT.
 5. ROUND KNOCKOUTS MAY BE ON ALL 4 SIDES, WITH MAX. DIA. OF 20". KNOCKOUTS MAY BE EITHER ROUND OR "D" SHAPE.
 6. KNOCKOUT OR CUTOUT HOLE SIZE IS EQUAL TO PIPE OUTER DIA. PLUS CATCH BASIN WALL THICKNESS.
 7. THE MAX. DEPTH FROM THE FINISHED GRADE TO THE PIPE INVERT IS 5'-0".
 8. THE TAPER ON THE SIDES OF THE PRECAST BASE SECTION AND RISER SECTION SHALL NOT EXCEED 1/2"/FT.
 9. CATCH BASIN FRAME AND GRATE SHALL BE IN ACCORDANCE WITH STANDARD SPECIFICATIONS AND MEET THE STRENGTH REQUIREMENTS OF FEDERAL SPECIFICATION RR-F-62ID. MATING SURFACES SHALL BE FINISHED TO ASSURE NON-ROCKING FIT WITH ANY COVER POSITION.
 10. FRAME AND GRATE MAY BE INSTALLED WITH FLANGE DOWN OR CAST INTO RISER.
 11. FOR CATCH BASINS IN PARKING LOTS REFER TO WSDOT STD PLAN B-5.60-01.
 12. EDGE OF RISER OR BRICK SHALL NOT BE MORE THAN 2" FROM VERTICAL EDGE OF CATCH BASIN WALL.
 13. CATCH BASIN INSTALLATION SHALL BE PER CONTRACT DOCUMENTS AND DETAILS.

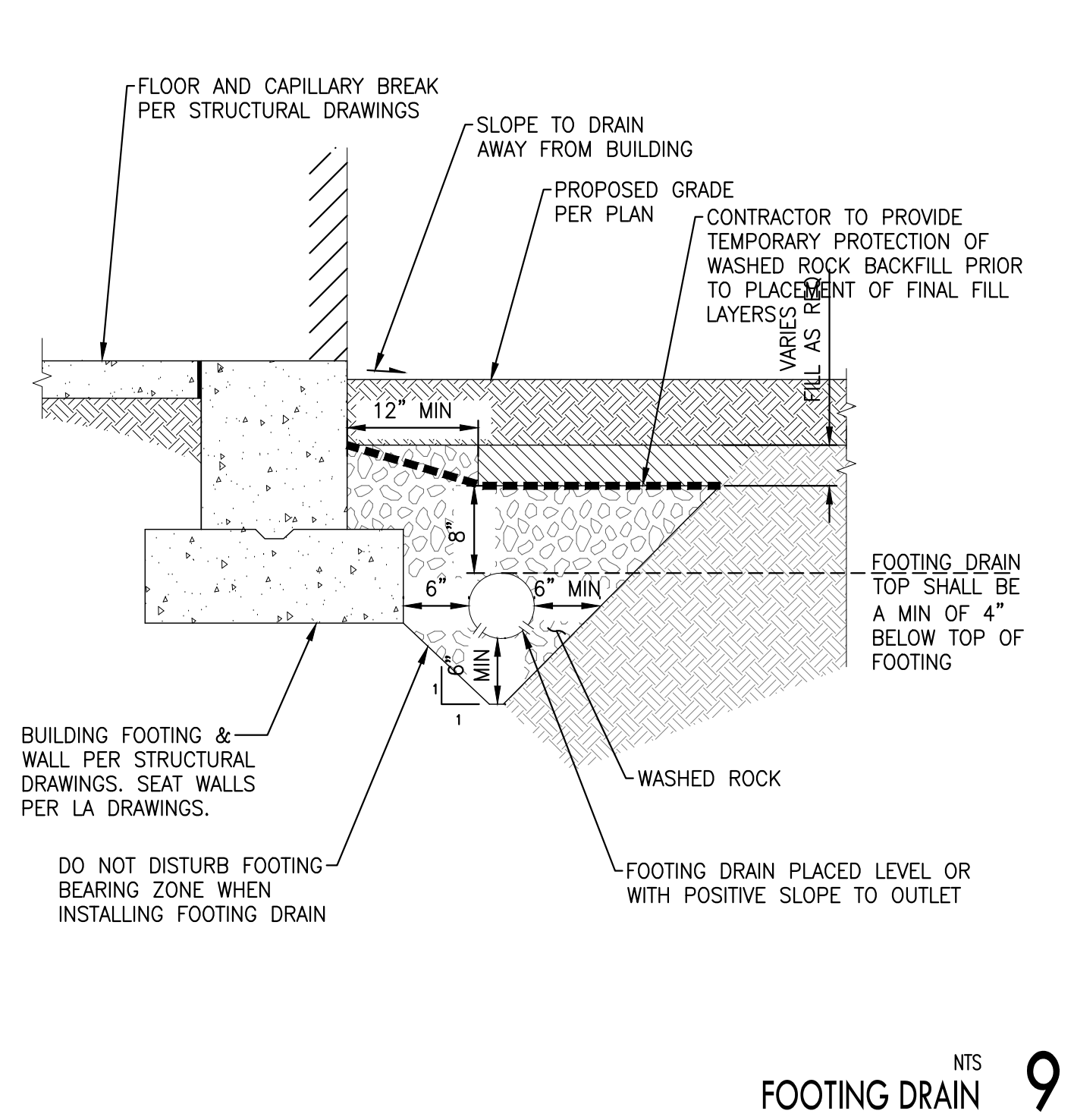
CATCH BASIN TYPE 1 8



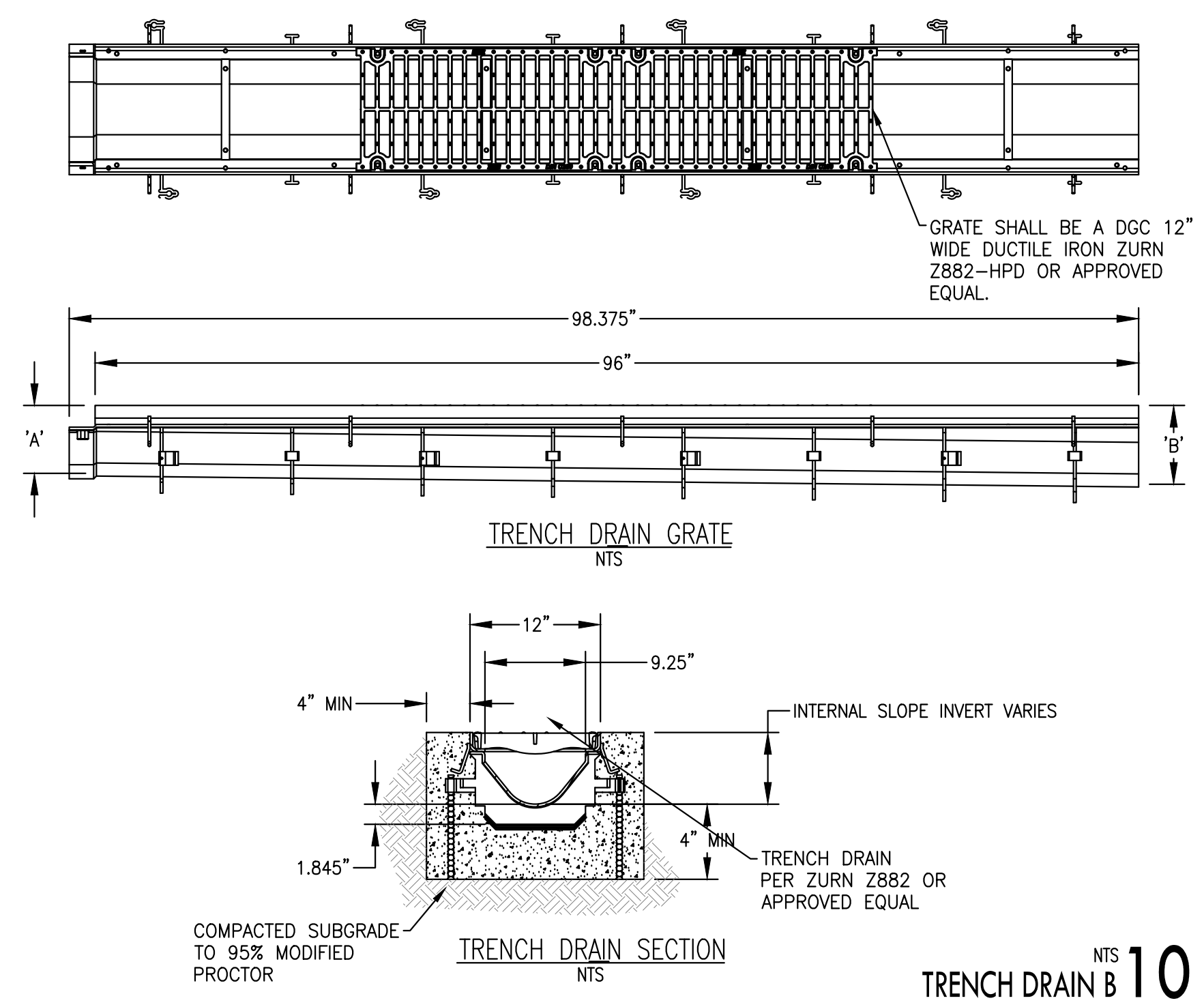
TRENCH DRAIN A 5



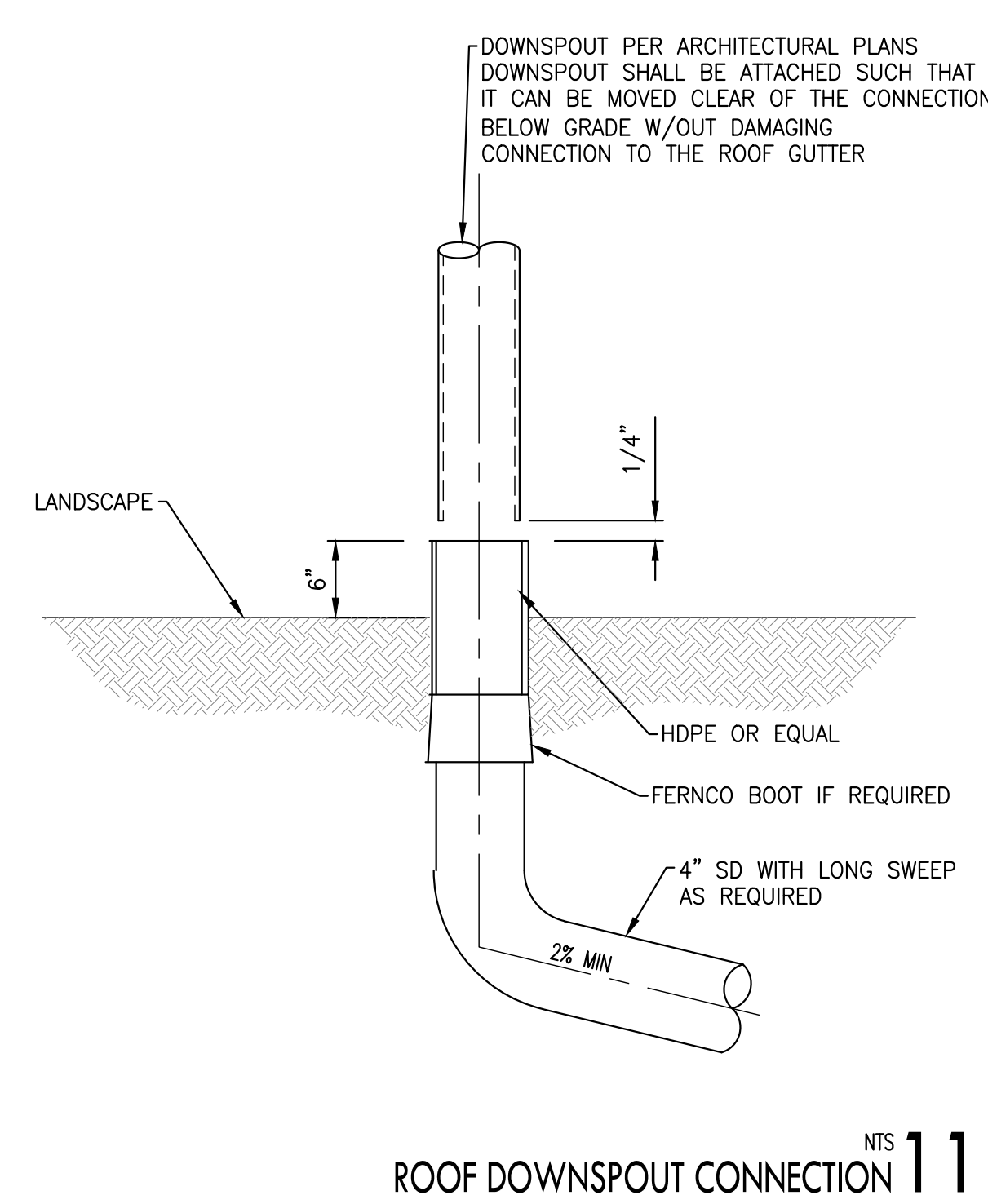
DISCHARGE PAD 6



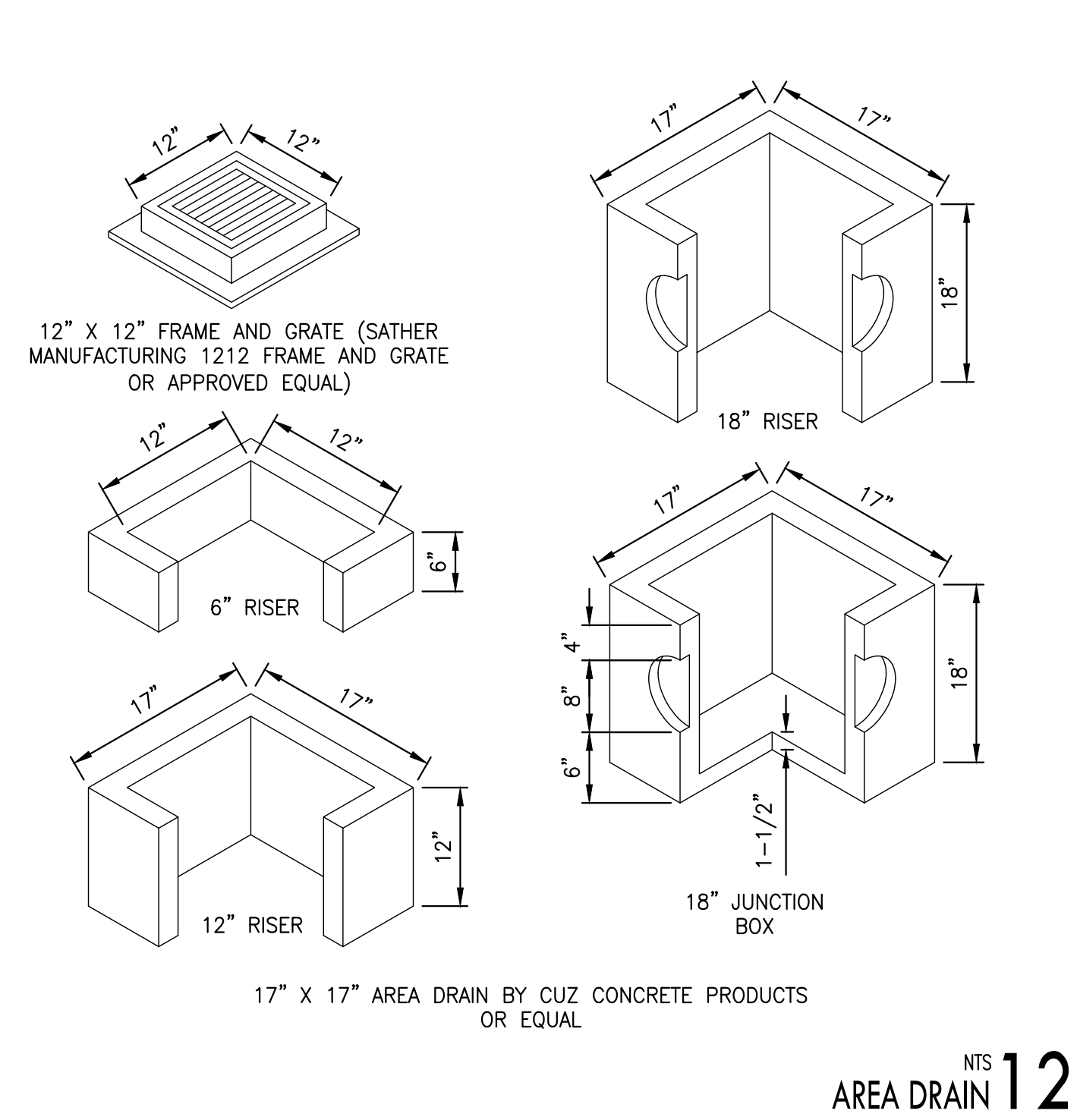
FOOTING DRAIN 9



TRENCH DRAIN B 10



ROOF DOWNSPOUT CONNECTION 11



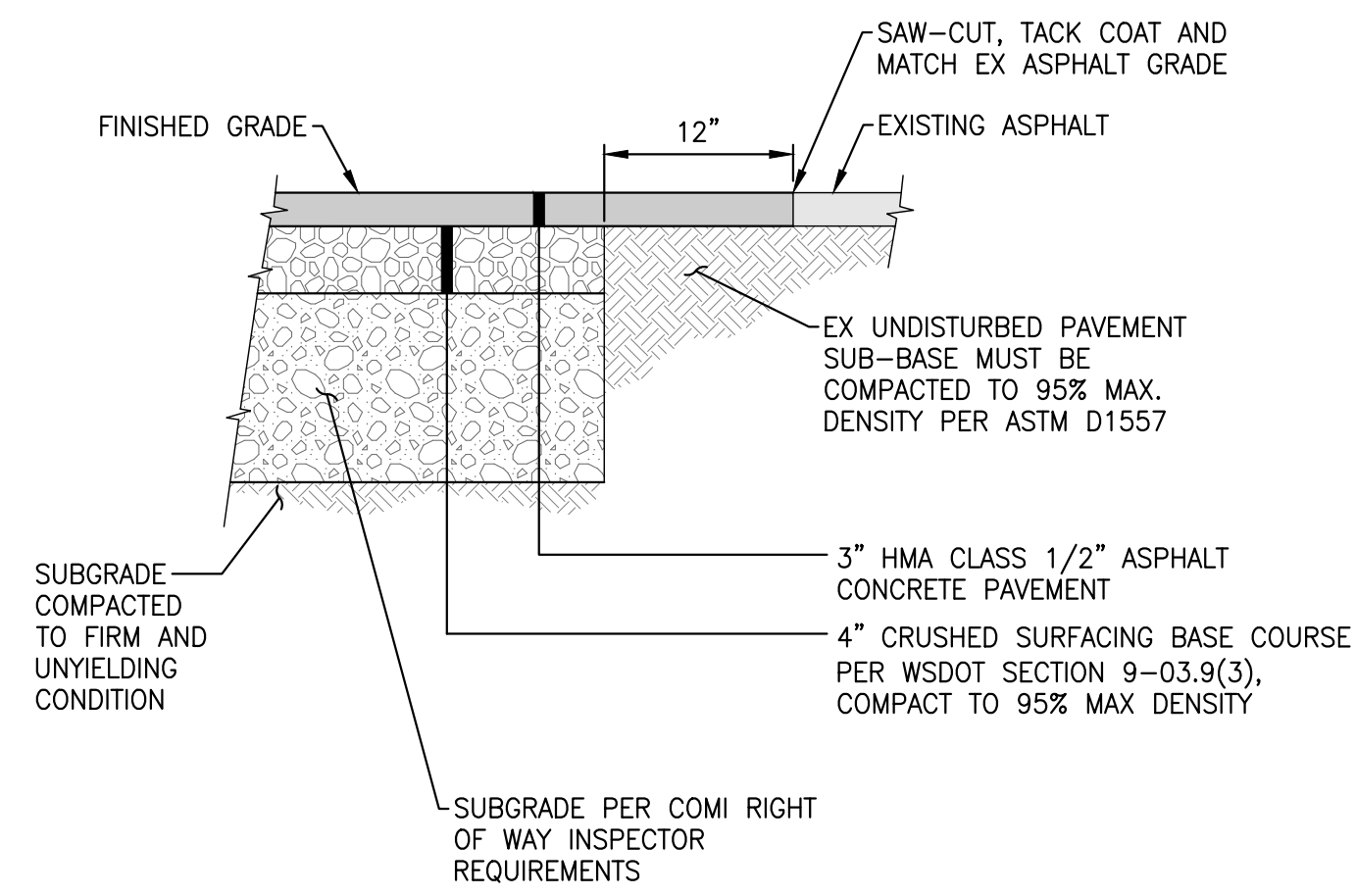
AREA DRAIN 12

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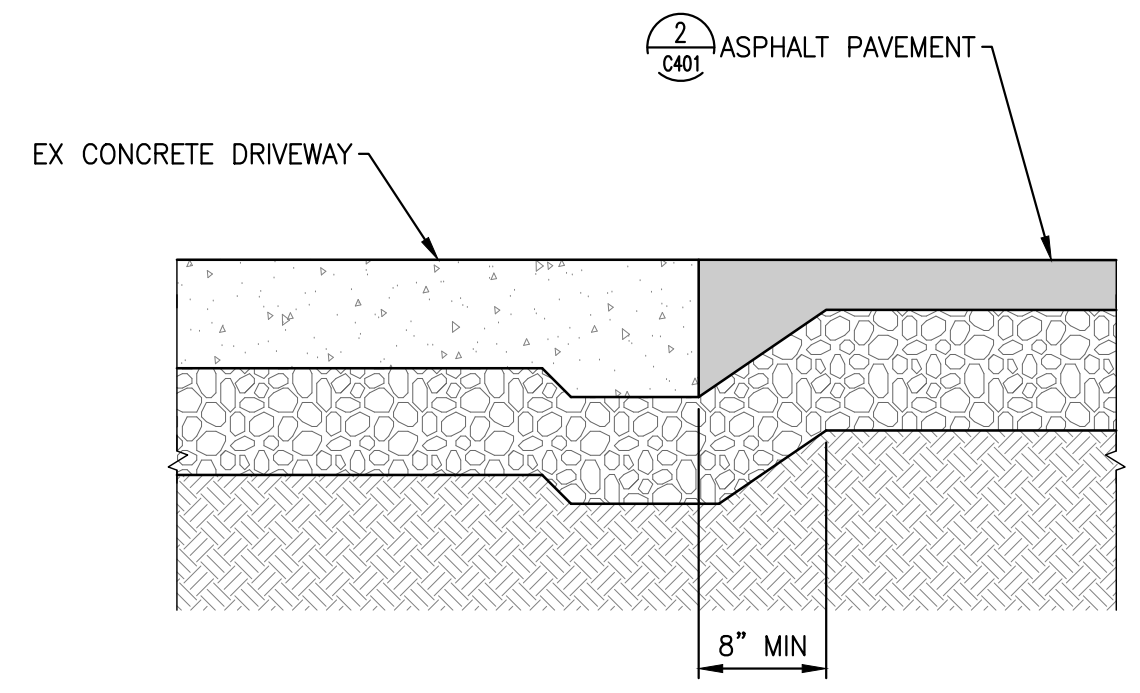
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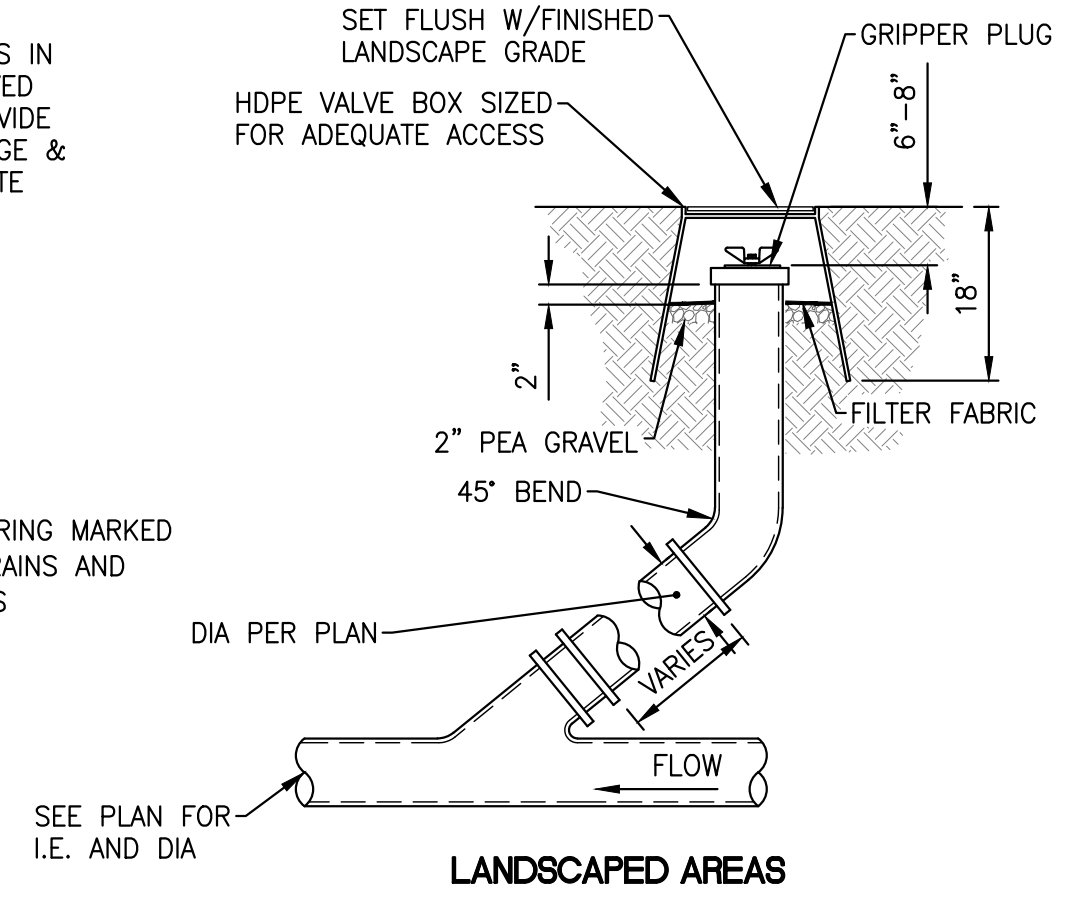
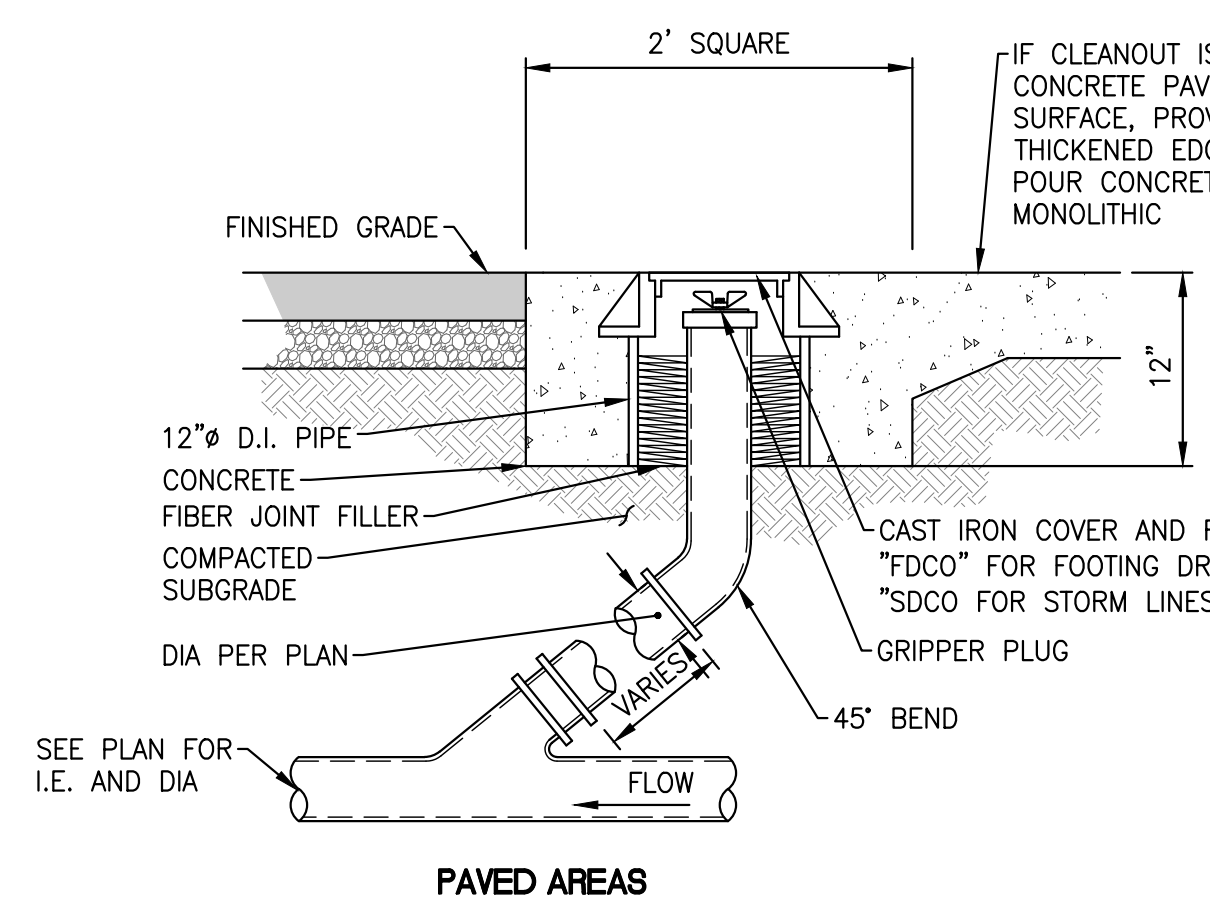
- NOTES:**
- IF EX PAVEMENT SECTION IS THICKER, MATCH EX SECTION. OTHERWISE CONSTRUCT SECTION SHOWN.
 - SAW-CUT FULL DEPTH WHERE NEW PAVEMENT ABUTS EXISTING AND APPLY TACK COAT.
 - PLACE ASPHALT IN ACCORDANCE WITH WSDOT APWA SECTION 5-04.
 - PROOF ROLL AND REMOVE ANY SOFT SPOTS. REPLACE REMOVED MATERIAL WITH GRAVEL BORROW. CONTRACTOR SHALL TEST AND VERIFY SUBGRADE MEETS COMPACTION REQUIREMENTS PRIOR TO PAVING.

NTS
NOT USED 1

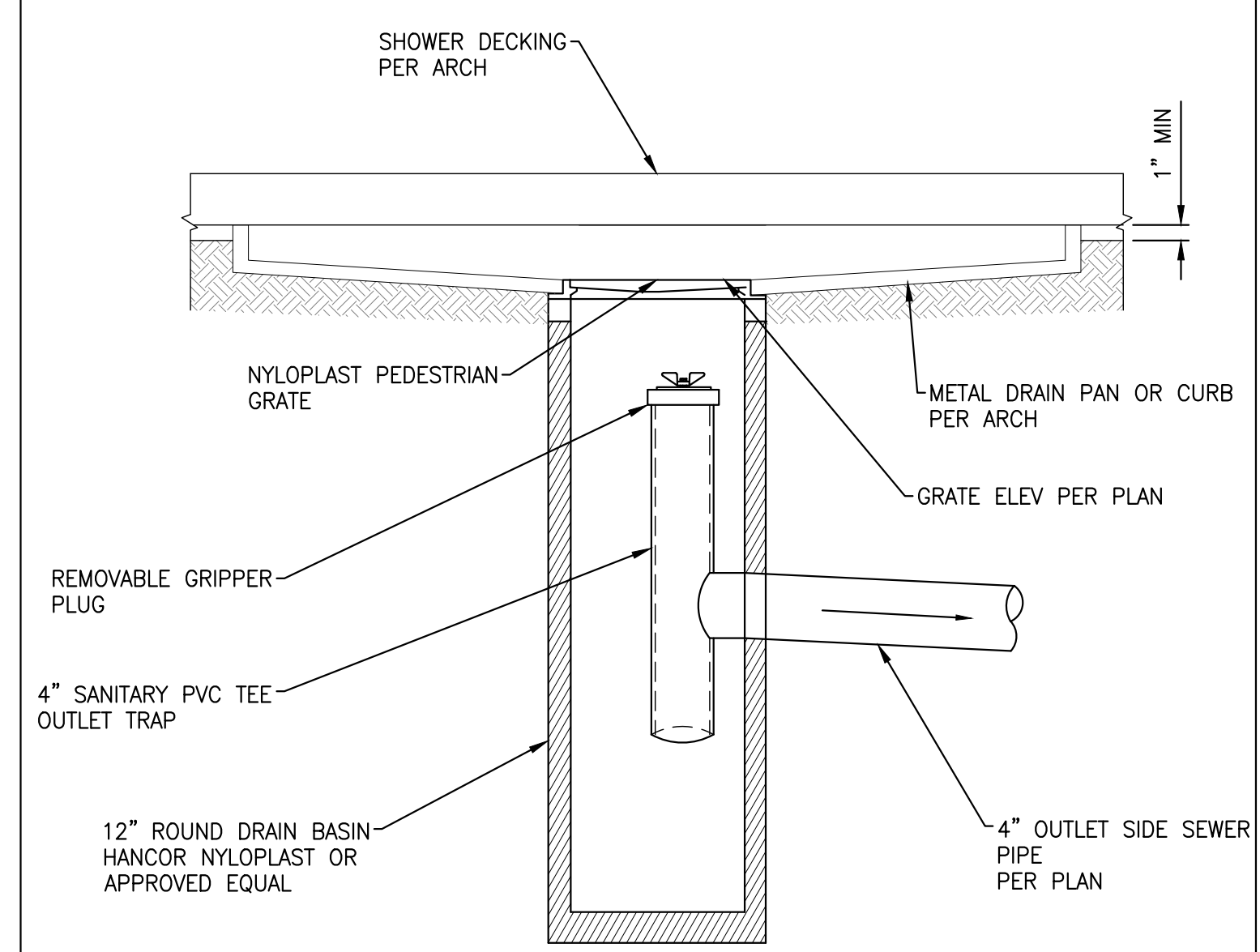
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ASPHALT PAVEMENT 2



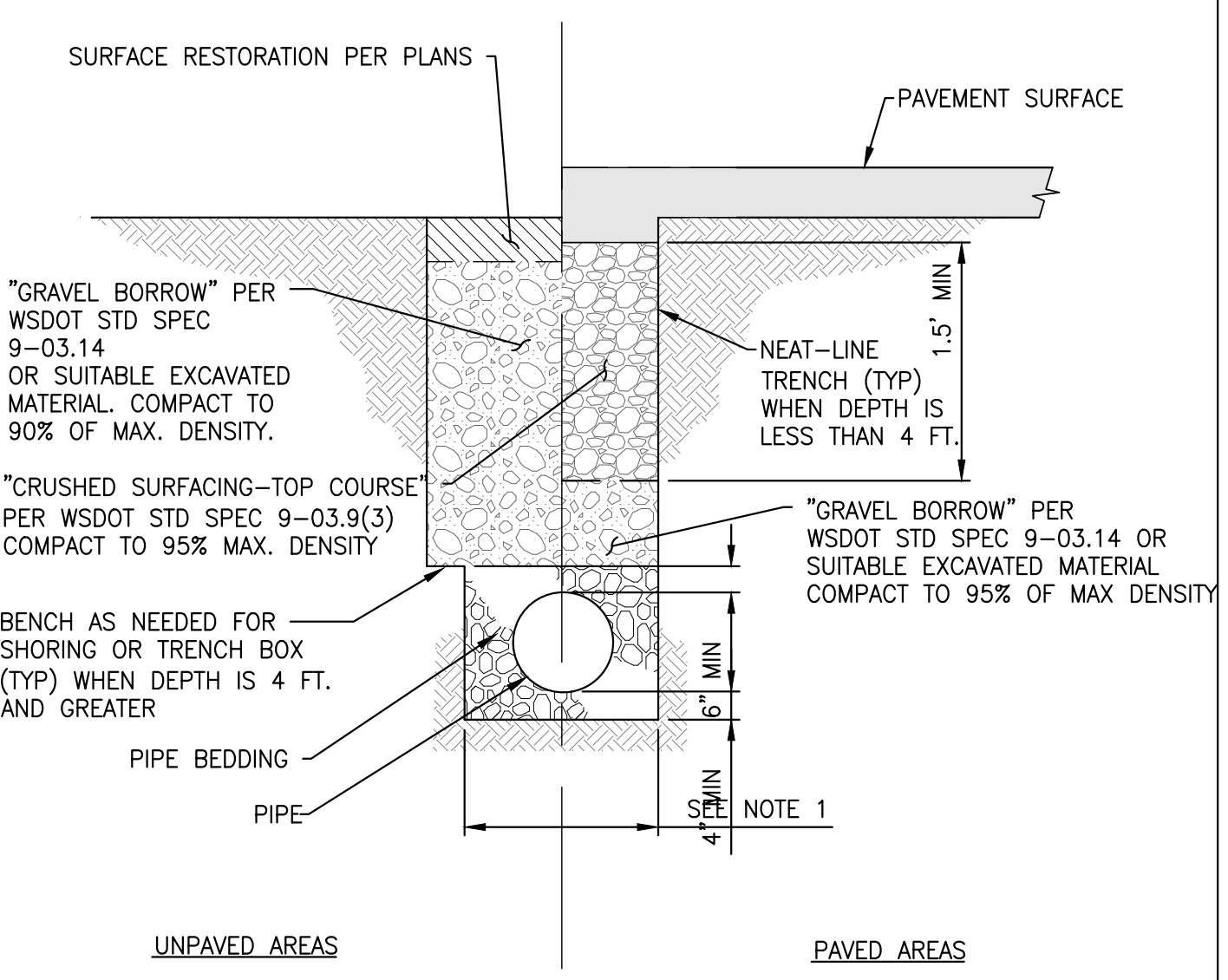
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ASPHALT-CONCRETE TRANSITION 3



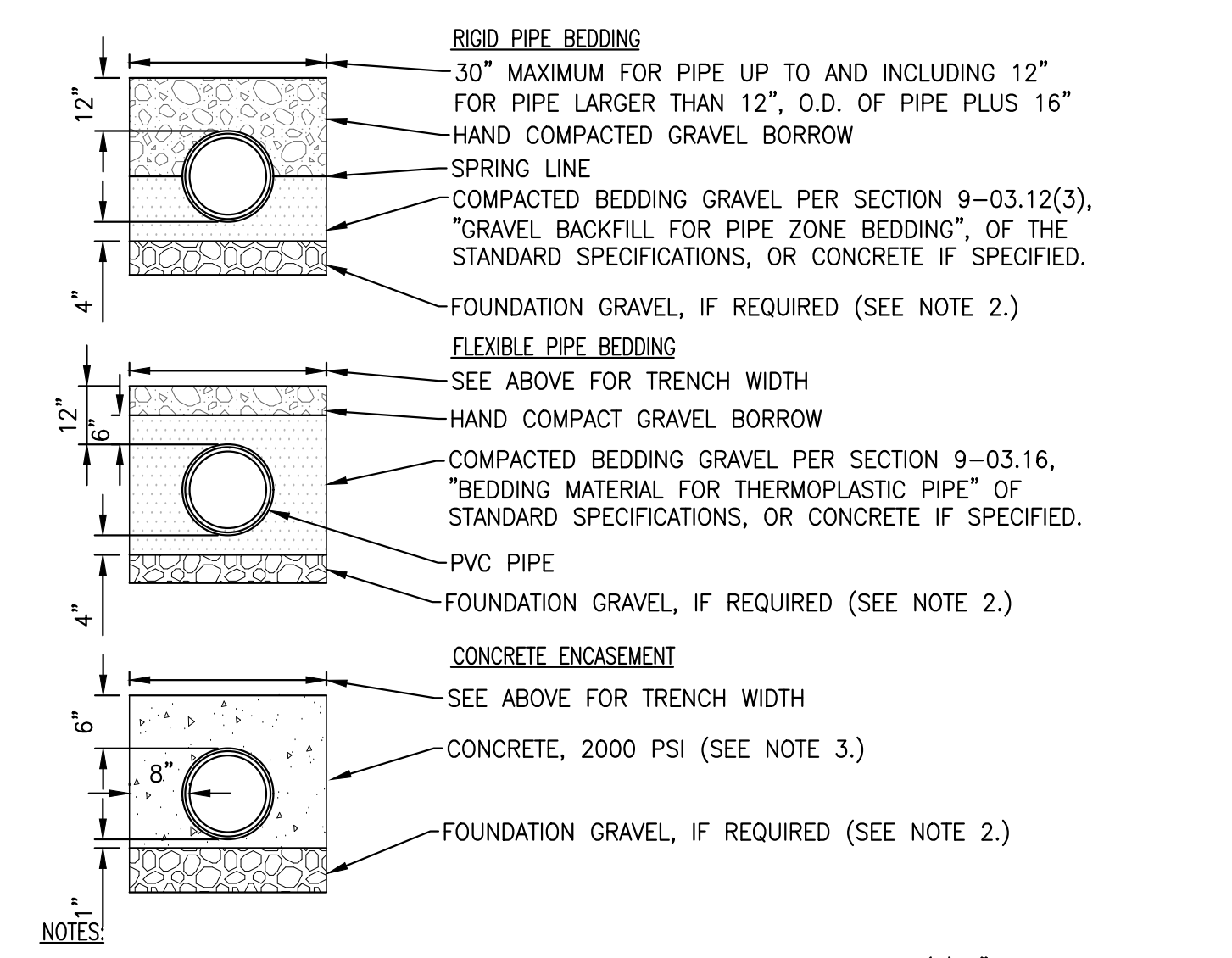
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CLEANOUT 6



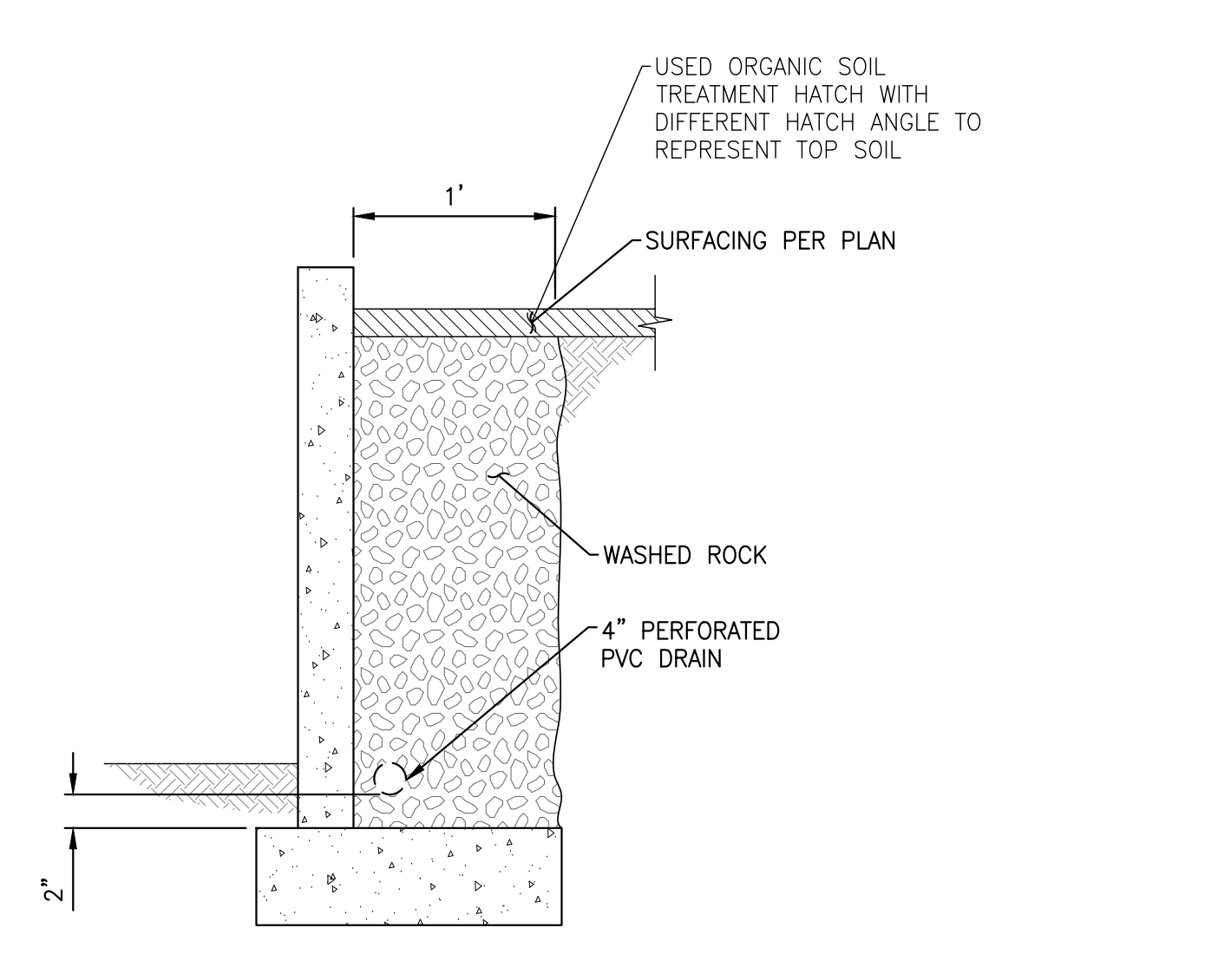
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SHOWER AREA DRAIN 7



NTS
PIPE BEDDING 9



NTS
PIPE TRENCH 10



NTS
TYPICAL WALL DRAIN 11

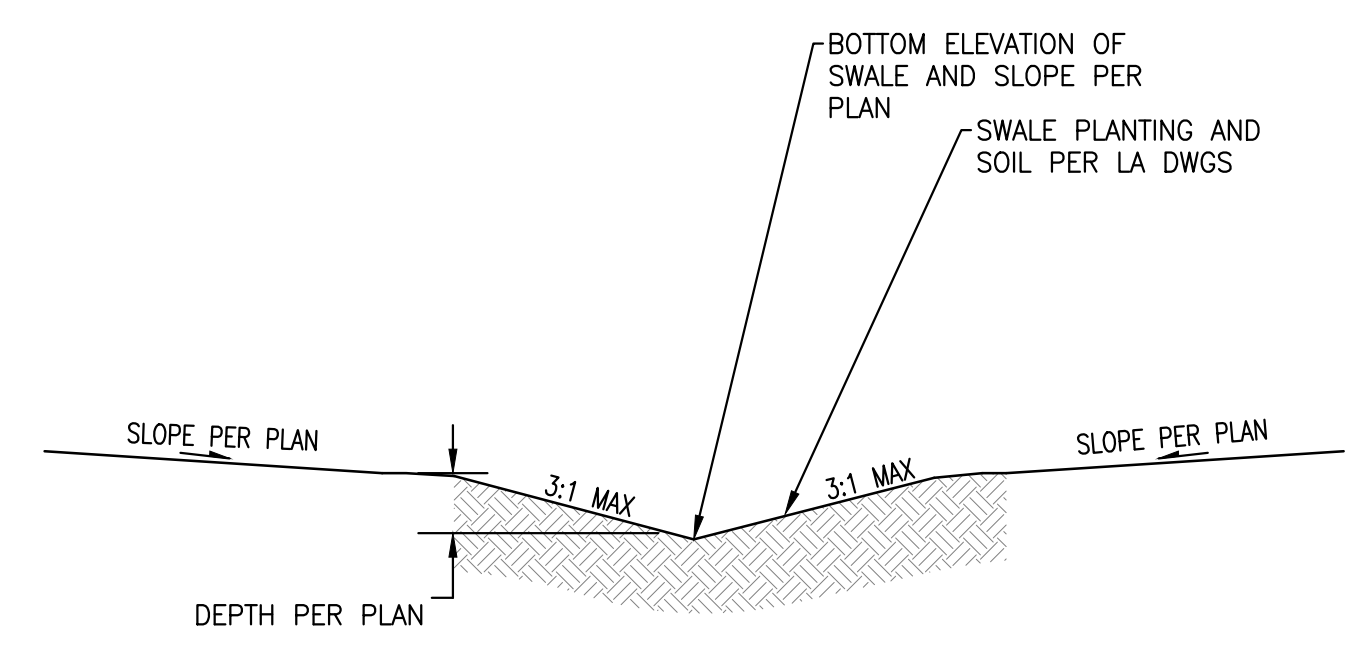
MERCER ISLAND UTILITY NOTES

- ALL STAGING AND STORAGE SHALL OCCUR ON SITE.
- A REDUCED PRESSURE BACKFLOW ASSEMBLY (RPBA) INSTALLATION SHALL BE REQUIRED AND INSTALLED 12 INCHES ABOVE GRADE BEHIND THE WATER METER FOR ALL NEW AND DEMO REBUILD SINGLE FAMILY, LAKEFRONT PROJECTS. THE RPBA SHALL BE INSPECTED AT TIME OF INSTALLATION AND AT BUILDING FINAL. (A HOT BOX TO PROTECT THE RPBA ASSEMBLY IS OPTIONAL. A DOUBLE CHECK VALVE ASSEMBLY (DCVA) IS REQUIRED ON ALL FIRE SPRINKLER SYSTEMS.
- POT HOLE THE PUBLIC UTILITIES IS REQUIRED PRIOR TO ANY GRADING ACTIVITIES LESS THAN 6" OVER THE PUBLIC MAINS (WATER, SEWER AND STORM SYSTEMS). IF THERE IS A CONFLICT, THE APPLICANT IS OBLIGATED TO SUBMIT A REVISION FOR APPROVAL PRIOR TO ANY GRADING ACTIVITIES OVER THE PUBLIC MAINS.
- DO NOT BACKFILL WITH NATIVE MATERIAL ON PUBLIC RIGHT OF WAY. ALL MATERIAL MUST BE IMPORTED.
- REFER TO WATER SERVICE PERMIT FOR ACTUAL LOCATION OF NEW WATER METER AND SERVICE LINE DETERMINED BY MERCER ISLAND WATER DEPARTMENT.
- THE EXISTING WATER SERVICE MUST BE ABANDONED AT THE CITY WATER MAIN WHEN A NEW SERVICE IS INSTALLED. THE HOMEOWNER IS RESPONSIBLE FOR ALL COST ASSOCIATED WITH THE ABANDONMENT OF THE EXISTING WATER SERVICE.
- NO ADS FLEXIBLE PIPE SHALL BE ALLOWED.
- SAND COLLARS ARE REQUIRED FOR GROUTING PVC PIPE TO CONCRETE STRUCTURES. THIS ALSO APPLIES TO ADS N-12 PIPES AND HDPE PIPES.
- OWNER SHALL CONTROL DISCHARGE OF SURFACE DRAINAGE RUNOFF FROM EXISTING AND NEW IMPERVIOUS AREAS IN A RESPONSIBLE MANNER. CONSTRUCTION OF NEW GUTTERS AND DOWNSPOUTS, DRY WELLS, LEVEL SPREADERS OR DOWNSTREAM CONVEYANCE PIPE MAY BE NECESSARY TO MINIMIZE DRAINAGE IMPACT TO YOUR NEIGHBORS. CONSTRUCTION OF MINIMUM DRAINAGE IMPROVEMENTS SHOWN OR CALLED OUT ON THE PLAN DOES NOT IMPLY RELIEF FROM CIVIL LIABILITY FOR YOUR DOWNSTREAM DRAINAGE.
- THE CONTRACTOR MUST POT HOLE ALL UTILITIES PRIOR TO MAKING CONNECTIONS TO VERIFY MATERIAL, DIAMETER, ALIGNMENTS, ETC. PRIOR TO MAKING CONNECTIONS, CONTRACTOR SHALL HAVE ALL NECESSARY PARTS, MATERIALS AND EQUIPMENT ON SITE. CONTACT SITE & UTILITIES INSPECTOR TO VERIFY.
- CATCH BASIN FILTERS SHOULD BE PROVIDED FOR ALL STORM DRAIN CATCH BASINS/INLETS DOWNSLOPE AND WITHIN 500 FEET OF THE CONSTRUCTION AREA. CATCH BASIN FILTERS SHOULD BE DESIGNED BY THE MANUFACTURER FOR USE AT CONSTRUCTION SITES AND APPROVED BY THE CITY INSPECTOR. CATCH BASIN FILTERS SHOULD BE INSPECTED FREQUENTLY, ESPECIALLY AFTER STORM EVENTS. IF THE FILTER BECOMES CLOGGED, IT SHOULD BE CLEANED OR REPLACED.
- THE TV INSPECTION OF THE EXISTING SIDE SEWER TO THE CITY SEWER MAIN IS REQUIRED. IF THE RESULT OF THE TV INSPECTION IS NOT IN SATISFACTORY CONDITION BY THE CITY OF MERCER ISLAND INSPECTOR, THE REPLACEMENT OF THE EXISTING SIDE SEWER IS REQUIRED.
- INFORM THE MERCER ISLAND CITY SITE/UTILITY INSPECTOR AT 206.275-7714 OF THE ANTICIPATED START DATE OF IN-WATER WORK PRIOR TO COMMENCEMENT OF CONSTRUCTION.
- FIELD LOCATE THE SEWER MAIN (LAKELINE) UNDERLYING THE LAKEBED AND MARK CLEARLY PRIOR TO THE START OF CONSTRUCTION. CONTACT THE MERCER ISLAND SITE/UTILITY INSPECTOR AT 206.275-7714 FOR AVAILABLE INFORMATION ABOUT THE LAKELINE AND ASSISTANCE WHERE POSSIBLE WITH IDENTIFYING THE GENERAL LOCATION OF THE LAKELINE PRIOR TO CONSTRUCTION. GIS MAPPING MAY BE AVAILABLE BY CALLING 206.236-3471. THE APPLICANT SHALL BE RESPONSIBLE OF ANY DAMAGE TO SAID SEWER MAIN RESULTING FROM CONSTRUCTION.

NTS
UTILITY NOTES 8

NOTE:
1. MAXIMUM WIDTH OF TRENCH AT TOP OF PIPE
* 30" FOR PIPE UP TO AND INCLUDING 12" NOMINAL DIAMETER.

NOTES:
1. SEE STRUCTURAL PLANS FOR RETAINING WALL DESIGN.
2. SEE LANDSCAPE PLANS FOR SEAT/PLANTER WALLS.



NTS
LANDSCAPE DRAINAGE SWALE 12

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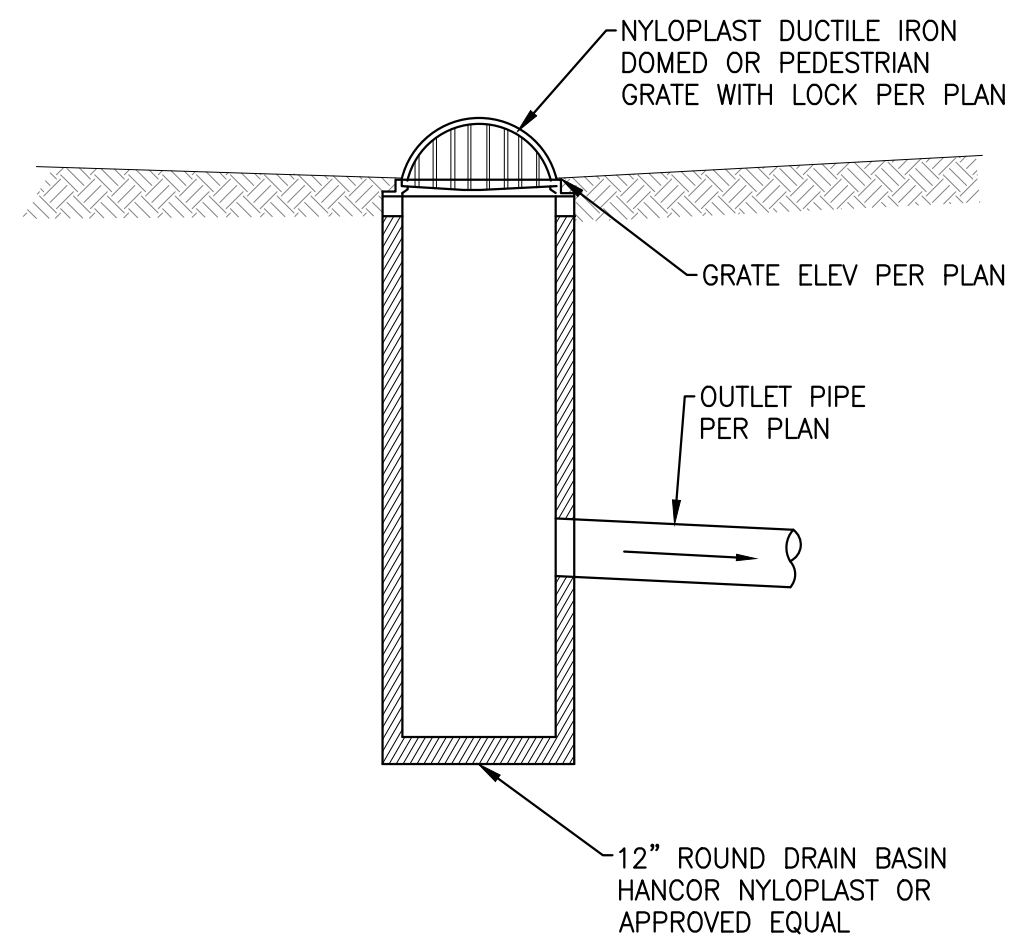
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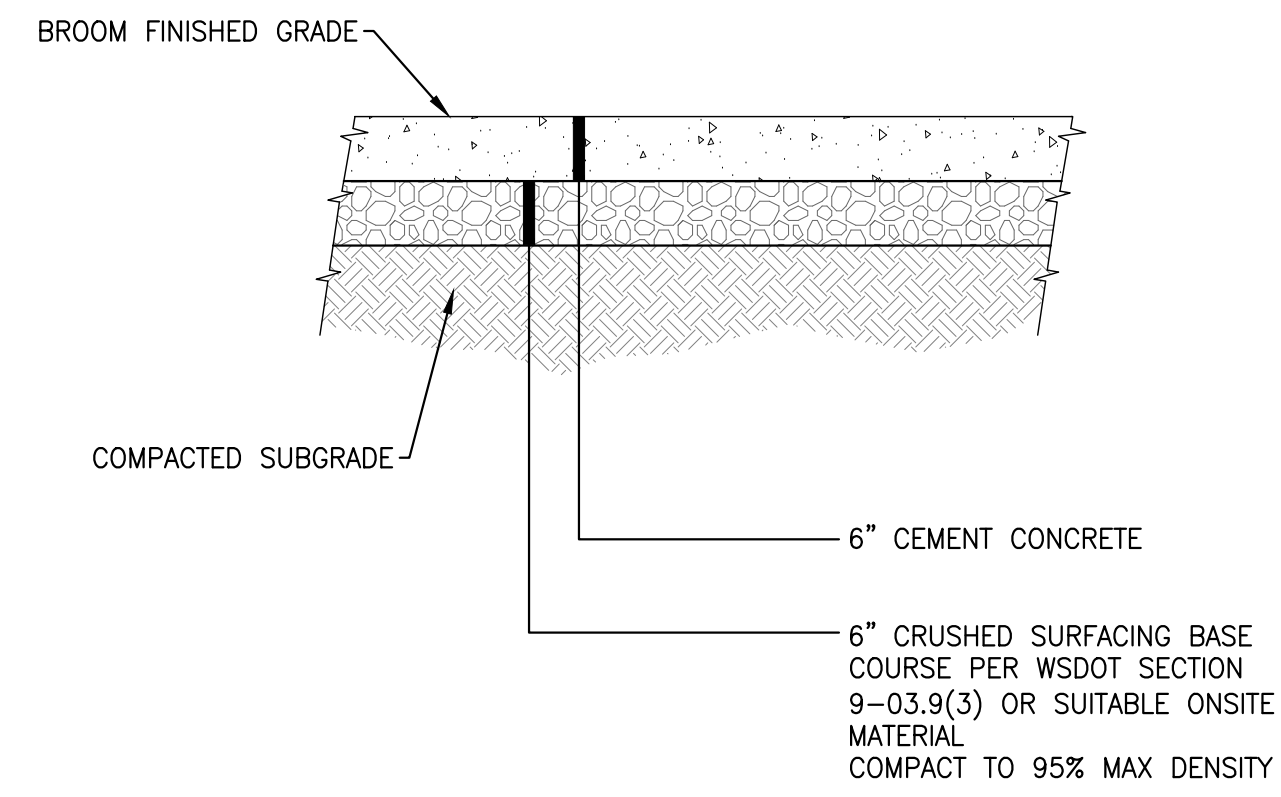
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DETAILS

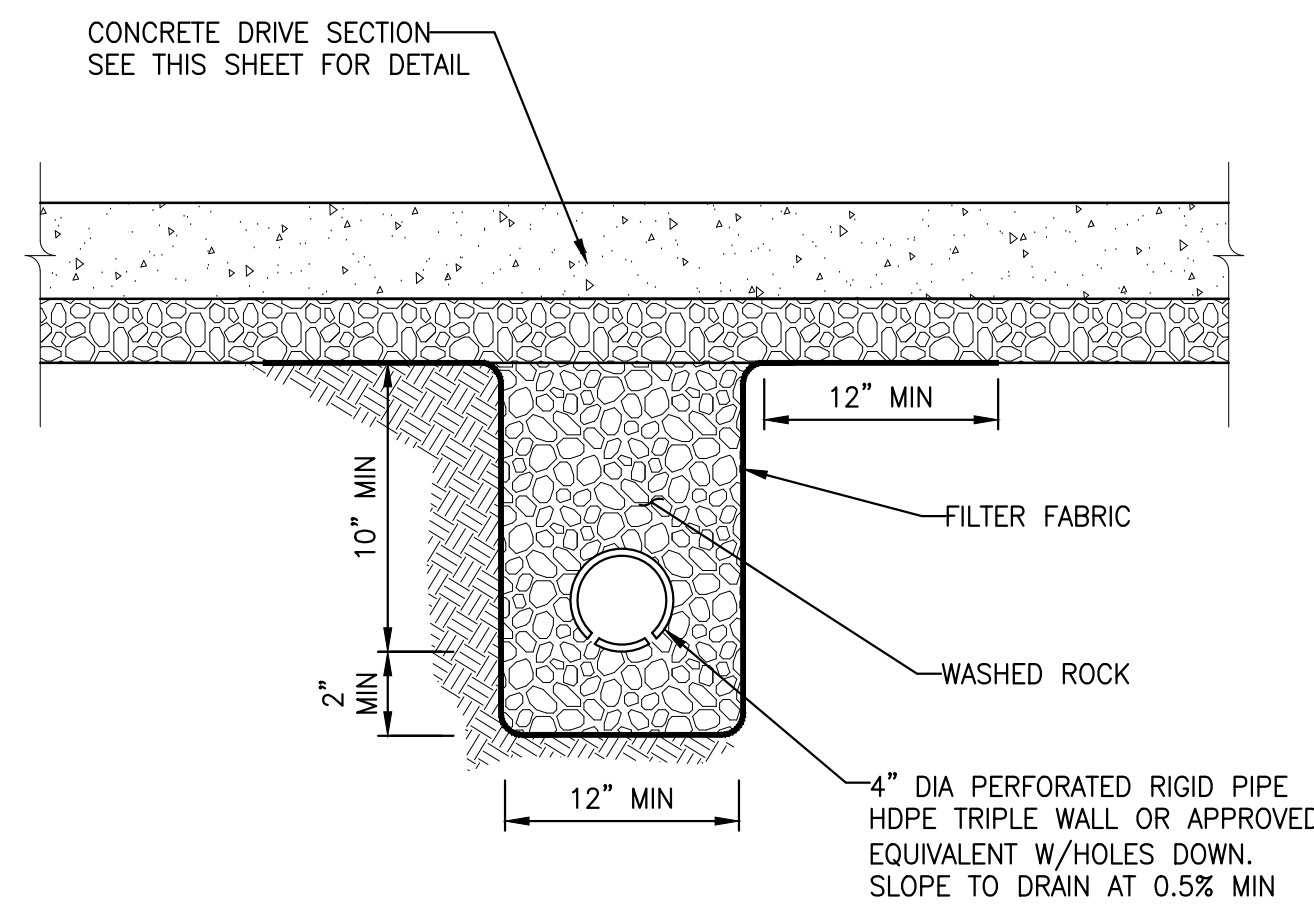
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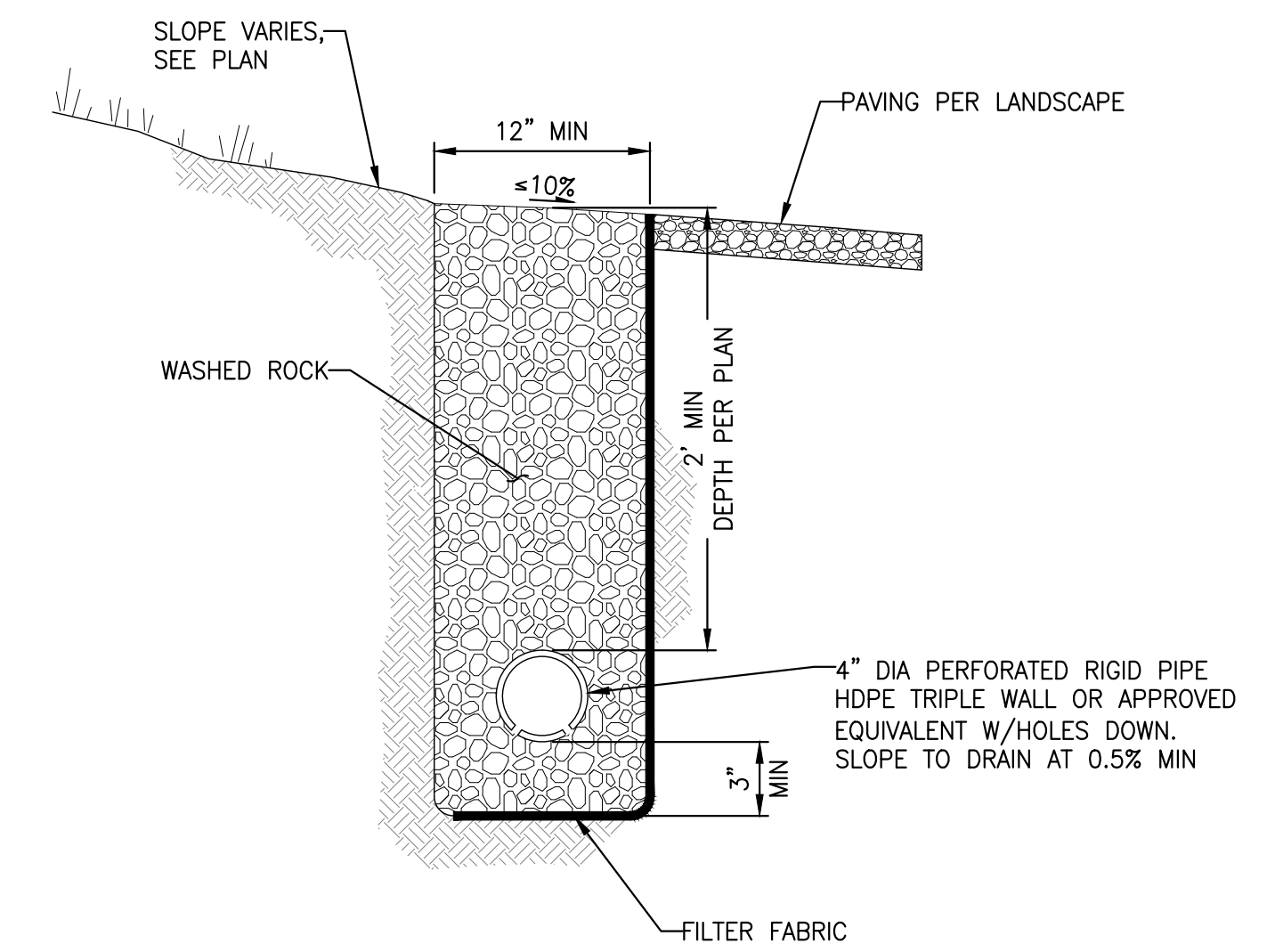
YARD/OVERFLOW DRAIN ^{NTS} 1



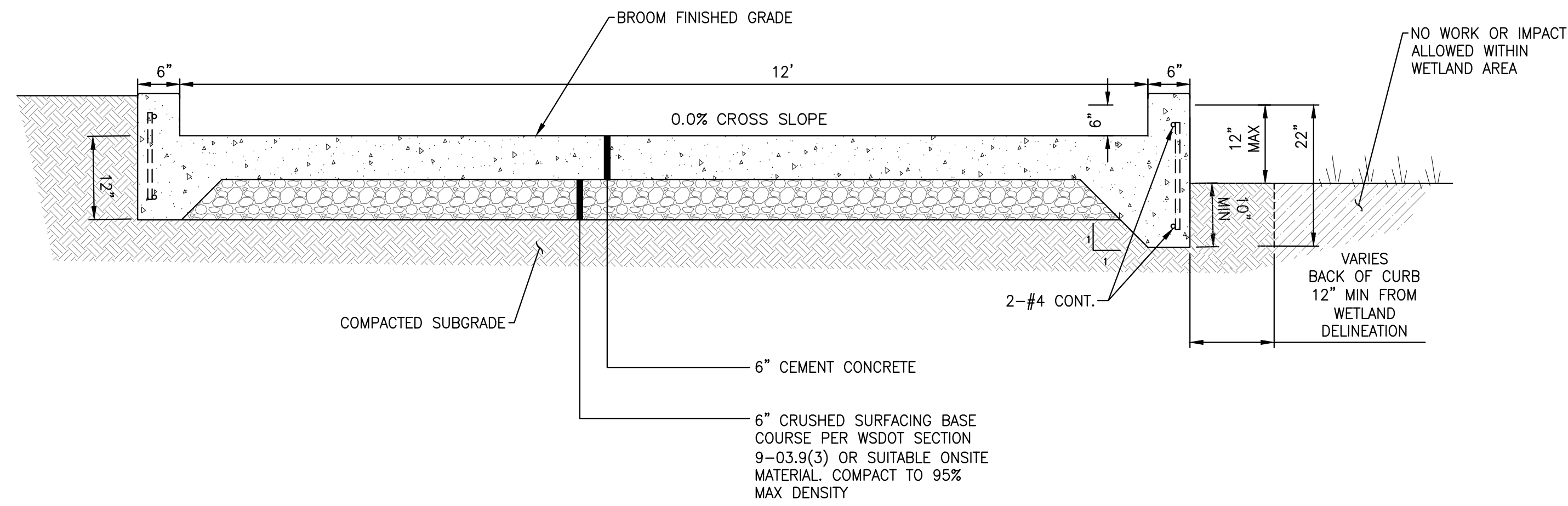
CONCRETE PAVEMENT ^{NTS} 2



SUBSURFACE DRAIN ^{NTS} 3



FRENCH DRAIN ^{NTS} 4



NOT USED ^{NTS} 5

CONCRETE DRIVE ^{NTS} 7

NOT USED ^{NTS} 8

NOT USED ^{NTS} 9

NOT USED ^{NTS} 10

NOT USED ^{NTS} 11

NOT USED ^{NTS} 12

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